



**PLANNING COMMISSION
REGULAR MEETING
Tuesday, October 3, 2023 - 7:00 PM**

**Board Meeting Room
39 Bank Street, SE,
Chatham, Virginia 24531**

AGENDA

1. CALL TO ORDER

2. ROLL CALL

3. MOMENT OF SILENCE

4. PLEDGE OF ALLEGIANCE

5. HEARING OF THE CITIZENS

Each person addressing the Board under Hearing of the Citizens shall be a resident or land owner of the County, or the registered agent of such resident or land owner. Each person shall step up, give his/her name and district in an audible tone of voice for the record, and unless further time is granted by the Chairman, shall limit his/her address to three (3) minutes. No person shall be permitted to address the Board more than once during Hearing of the Citizens. All remarks shall be addressed to the Board as a body and not to any individual member thereof. Hearing of the Citizens shall last for a maximum of forty-five (45) minutes. Any individual that is signed up to speak during said section who does not get the opportunity to do so because of the aforementioned time limit, shall be given speaking priority at the next Board meeting. Absent Chairman's approval, no person shall be able to speak who has not signed up.

6. APPROVAL OF AGENDA

7. APPROVAL OF MINUTES

- a. September Board Meeting Minutes Approval (Staff Contact: Robin Vaughan)

8. CHAIRMAN'S REPORT

9. PUBLIC HEARING

Pursuant to Article V, Division 7 of the Pittsylvania County Zoning Ordinance, we the Planning Commission have been empowered to hear and decide specific applications in support of said ordinance and to

make recommendations to the Board of Supervisors or the Board of Zoning Appeals. In accomplishing this important task, we are charged with promoting the health, safety, and general welfare of the citizens of Pittsylvania County. We must insure that all our decisions and recommendations be directed to these goals and that each be consistent with the environment, the comprehensive plan and in the best interest of Pittsylvania County, its citizens and its posterity. Anyone here to speak to the board regarding zoning cases will be limited to (3) three minutes.

- a. Public Hearing: Case R-23-026 Board of Supervisors Pittsylvania County, Virginia; Rezoning from A-1, Agricultural District, to M-2, Industrial District, Heavy Industry. (Waters) (Staff Contact:)
- b. Public Hearing: Case R-23-027 Connie Sue Gardner Horsley; Rezoning from A-1, Agricultural District, and R-1, Residential Suburban Subdivision District, to A-1, Agricultural District. (Oakes) (Staff Contact: Emily Ragsdale)
- c. Public Hearing: Case S-23-014 Southside Investing, LLC; Special Use Permit for commercial uses such as a grocery anchored shopping center, restaurants, offices, assisted living/dementia care facility, and a hotel for service to the residents of the planned area and its adjacent communities in accordance with Pittsylvania County Code § 35-295 (Oakes) (Staff Contact:)
- d. Public Hearing: Case S-23-015 Crown Castle; Special Use Permit for the placement of a cell tower in accordance with Pittsylvania County Code § 35-295 (Staff Contact:)
- e. Public Hearing: Case S-23-016 Arcola Towers; Special Use Permit for the placement of a cell tower in accordance with Pittsylvania County Code § 35-179 (Henderson) (Staff Contact:)
- f. Public Hearing: Case Z-23-001 Atkinsons, LLC; Requesting a sign permit for an off-site, illuminated 10' x 30' (300 square feet), double-sided (total of four (4) panels) sign in accordance with Pittsylvania County Code § 35-100 (Waters) (Staff Contact: Emily Ragsdale)

10. OLD BUSINESS

11. NEW BUSINESS

12. ADJOURNMENT

PITTSYLVANIA

COUNTY, VIRGINIA

PLANNING COMMISSION EXECUTIVE SUMMARY

Action Item

Agenda Title:	September Board Meeting Minutes Approval		
Staff Contact(s):	Robin Vaughan		
Agenda Date:	October 3, 2023	Item Number:	7.a.
Attachment(s):	1.	09052023 PC Minutes	
Reviewed By:			

SUMMARY:

FINANCIAL IMPACT AND FUNDING SOURCE:

RECOMMENDATION:

MOTION:

**PLANNING COMMISSION
REGULAR MEETING
Tuesday, September 5, 2023 - 7:00 PM**

**Board Meeting Room
39 Bank Street, SE,
Chatham, Virginia 24531**

MINUTES

1. CALL TO ORDER

The meeting was called to order at 7:00 p.m. by Chairman, Nathan Harker.

2. ROLL CALL

3. MOMENT OF SILENCE

The Board observed a moment of silence.

4. PLEDGE OF ALLEGIANCE

The Board recited the pledge of Allegiance.

5. HEARING OF THE CITIZENS

Each person addressing the Board under Hearing of the Citizens shall be a resident or land owner of the County, or the registered agent of such resident or land owner. Each person shall step up, give his/her name and district in an audible tone of voice for the record, and unless further time is granted by the Chairman, shall limit his/her address to three (3) minutes. No person shall be permitted to address the Board more than once during Hearing of the Citizens. All remarks shall be addressed to the Board as a body and not to any individual member thereof. Hearing of the Citizens shall last for a maximum of forty-five (45) minutes. Any individual that is signed up to speak during said section who does not get the opportunity to do so because of the aforementioned time limit, shall be given speaking priority at the next Board meeting. Absent Chairman's approval, no person shall be able to speak who has not signed up.

HEARING OF THE CITIZENS

No citizens came forward to speak.

6. APPROVAL OF AGENDA

A motion was made by Mr. Waters, seconded by Mr. Webb and by a seven (7) to zero (0) vote, the agenda was approved as presented.

RESULT: Approve

MOVER: Richard Waters

SECONDER: Fred Webb

AYES: None

NOES: None

ABSTAIN: None

7. APPROVAL OF MINUTES

A motion was made by Mrs. Mease, seconded by Mr. Webb and by a seven (7) to zero (0) vote, the minutes were approved as presented.

RESULT: Approve

MOVER: Janet Mease

SECONDER: Fred Webb

AYES: None

NOES: None

ABSTAIN: None

- a. August Board Meeting Minutes Approval (Staff Contact: Robin Vaughan)
- a. August Board Meeting Minutes Approval

8. CHAIRMAN'S REPORT

There was no Chairman's Report.

9. PUBLIC HEARING

Pursuant to Article V, Division 7 of the Pittsylvania County Zoning Ordinance, we the Planning Commission have been empowered to hear and decide specific applications in support of said ordinance and to make recommendations to the Board of Supervisors or the Board of Zoning Appeals. In accomplishing this important task, we are charged with promoting the health, safety, and general welfare of the citizens of Pittsylvania County. We must insure that all our decisions and recommendations be directed to these goals and that each be consistent with the environment, the comprehensive plan and in the best interest of Pittsylvania County, its citizens and its posterity. Anyone here to speak to the board regarding zoning cases will be limited to (3) three minutes.

PUBLIC HEARING

- a. Public Hearing: Case R-23-025 Michael and Jane Kendrick; Rezoning from R-1, Residential Suburban Subdivision District, to A-1, Agricultural District (Oakes) (Staff Contact: Emily Ragsdale)
- a. Public Hearing: Case R-23-025 Michael and Jane Kendrick; Rezoning from R-1, Residential Suburban Subdivision District, to A-1, Agricultural District (Oakes)

Mr. Harker opened the public hearing at 7:04 p.m. Mrs. Ragsdale, Director of Community Development, reported that Michael & Jane Kendrick had

petitioned to rezone 27.92 acres from R-1, Residential Suburban Subdivision District, to A-1, Agricultural District, to allow for agricultural purposes. Jane Kenrick represented the petition, there was no opposition. Mr. Harker closed the public hearing at 7:05 p.m. A motion was made by Mr. Oakes, seconded by Mrs. Henderson to recommend the Board of Supervisors grant the rezoning request. Motion passed by a seven (7) to zero (0) vote.

RESULT: Approve

MOVER: Gary Oakes

SECONDER: Collette Henderson

AYES: Nathan Harker, Gary Oakes, Colette Henderson, Justin Brown, Richard Waters, Fred Webb, Janet Mease

NOES: None

ABSTAIN: None

- b. Public Hearing: Case S-23-014 Appalachian Power; Special Use Permit for a Public Facility, Transmission Line, and a Public Utility Substation in accordance with Pittsylvania County Code § 35-179, 35-223, 35-268, and 35-281 (Oakes) (Staff Contact:)
- b. Public Hearing: Case S-23-014 Appalachian Power; Special Use Permit for a Public Facility, Transmission Line, and a Public Utility Substation in accordance with Pittsylvania County Code § 35-179, 35-223, 35-268, and 35-281 (Oakes)

Mr. Harker opened the public hearing at 7:06 p.m. Mrs. Ragsdale, Director of Community Development, reported that Appalachian Power had petitioned for a Special Use Permit on 140.67 acres, to allow for transmission lines. Daniel Fraser with Power Engineers represented the petition and presented a power point presentation. William Shelton spoke in opposition to the project. He stated had concerns over radiation generated from the power lines affecting his and his daughters' implanted medical devices. He stated that he did not approve the surveyors to have access to his property, and they seemed to come onto it anyway and he was not pleased with this. He stated they should use the proposed right-of-way. Mr. Harker asked if the proposed right-of-way crosses his property and he answered it does not, it is less than 150 feet from his daughter's house. Mr. Fraser addressed these concerns, stating they were not aware of details of the surveying and that this did not affect Mr. Shelton's property at all. Mr. Harker closed the public hearing at 7:24 p.m. A motion was made by Mr. Oakes, seconded by Mr. Webb to recommend the Board of Supervisors grant the Special Use Permit with the following

condition:

1. Adjacent parcel owners will be notified in advance that AEP need access off of the easement before proceeding with the project.

Motion passed by a seven (7) to zero (0) vote.

RESULT: Approve

MOVER: Gary Oakes

SECONDER: Fred Webb

AYES: Nathan Harker, Gary Oakes, Colette Henderson, Justin Brown, Richard Waters, Fred Webb, Janet Mease

NOES: None

ABSTAIN: None

10. OLD BUSINESS

Mrs. Ragsdale reminded the board that the final bimonthly meeting for the Zoning Ordinance Update will be October 13, 2023 at 5:30 p.m.

11. NEW BUSINESS

Mrs. Ragsdale stated there would be 2 rezoning cases, 5 special use permits, and 1 sign permit for the October 3, 2023 meeting. Mrs. Mease said her mother will be 103 on September 18, 2023 and she will be having a party for her if anyone would like to attend.

12. ADJOURNMENT

The meeting was adjourned at 7:29 p.m.

STAFF SUMMARY

<p><u>CASE</u> R-23-026</p> <p><u>SUBJECT/PROPOSAL/REQUEST</u> Pittsylvania County Board of Supervisors is requesting to rezone property from A-1, Agricultural District, to M-2, Heavy Industry.</p> <p><u>DISTRICT</u> Chatham-Blairs</p>	<p><u>ZONING REQUEST</u> A-1 to M-2</p>	<p><u>CYCLE</u> October 2023/November 2023</p> <p><u>PLANNING COMMISSION</u> October 3, 2023</p> <p><u>BOARD OF SUPERVISORS</u> November 21, 2023</p> <p><u>ADVERTISED</u> September 20 & 27, 2023 & October 25, 2023 & November 1, 2023</p>
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SUBJECT

Request by Pittsylvania County Board of Supervisors to rezone property located on U.S. Highway 29, in the Chatham-Blairs Election District, and shown on the Tax Maps as GPIN # 2423-19-0816 (“Property”). The Applicant is requesting to rezone 32.26 acres from A-1, Agricultural District, to M-2, Industrial District, Heavy Industry, to allow for a public facility (correctional facility).

BACKGROUND/DISCUSSION

The County’s current jail, located in the Town of Chatham, Virginia, was constructed in 1980 to house only 36 inmates per Virginia Department of Corrections standards. The County’s current jail houses over 100 inmates on average, with additional inmates housed with the Blue Ridge Regional Jail Authority. The County has identified the need for a larger jail to meet current requirements. The proposed facility will have 146 beds with a core (*i.e.*, HVAC, laundry, dining, etc.) built to accommodate up to 202 beds. A Site Plan and conceptual pictures have been submitted with the Application.

Once the property is rezoned to M-2, all uses listed under Pittsylvania County Code § 35-402 are a permitted use.

FUTURE LAND USE DESIGNATION

The County’s Comprehensive Plan designates the Property’s future land use as Commercial and Medium to High Density Residential.

ZONING AND CURRENT USE OF SURROUNDING PROPERTIES

Adjacent to A-1, Agricultural District, and B-2, Business District, General, and M-2, Industrial District, Heavy Industry, zoned properties.

SITE DEVELOPMENT PLAN

Included.

RECOMMENDATION

County Staff recommends **APPROVAL** of Case R-23-026.

PLANNING COMMISSION OPTIONS

1. Recommend approval of Case R-23-026 as submitted.
2. Recommend denial of Case R-23-026 as submitted.

ATTACHMENTS

- A. Application
- B. Maps
- C. Letter of Intent
- D. Executive Summary
- E. Petition
- F. Sign Affidavit
- G. Adjacent Parcel Owners

PITTSYLVANIA COUNTY APPLICATION FOR REZONING

I/We, The Board of Supervisors of Pittsylvania County, Virginia, a political subdivision of the Commonwealth of Virginia, as Owner/Contract Purchaser (circle one) of the below described property, hereby apply to the Pittsylvania County Board of Supervisors to amend the Pittsylvania County Zoning Maps as hereinafter described:

1. Current Owner of Property The Board of Supervisors of Pittsylvania County, Virginia, a political subdivision of the Commonwealth of Virginia Telephone 434-432-7700
Address 11965 U S HIGHWAY NO 29 ZIP 24531

2. Location of Property: U S HIGHWAY NO 29 Total Amount: _____
Taken By: _____

3. Tax Map Number: 2423-19-0816

4. Election District: Chatham-Blairs

5. Size of Property 32.26 ac acres/square feet

6. Existing Land Use: vacant residence since 2017; agricultural (hay field)

Existing Zoning: A-1

7. Proposed Land Use: Public Facility

Proposed Zoning: M-2

8. Are Conditions being Proffered: Yes _____ No X

9. Check-completed items:

- | | | |
|--|--|---|
| <input checked="" type="checkbox"/> Letter of Application | <input type="checkbox"/> 11" x17" Concept Plan | <input checked="" type="checkbox"/> Legal Forms |
| <input checked="" type="checkbox"/> Site Development Plan | <input checked="" type="checkbox"/> Application Form | <input checked="" type="checkbox"/> Plat Map |
| <input checked="" type="checkbox"/> List of Adjoining Properties | | |

Through application for this permit, the owner authorizes a right-of-entry by the Pittsylvania County for the purpose of site evaluation and monitoring for compliance with the Pittsylvania County Ordinance.

Sanj F. Arnold



Applicant

Robin Vaughan

Sworn to and subscribed before me in my presence on the 24th day of August 2023, in my City and State aforesaid, by Robin Vaughan Notary Public. My Commission Expires: 11-30-2026

OFFICE USE ONLY:

Application No.: R-23-026

Application Deadline: 8-31-2023

Hearing Date: 10-3-23 & 11-21-23

**VIRGINIA:
BEFORE THE BOARD OF SUPERVISORS OF PITTSYLVANIA COUNTY**

32.26 acres of land, generally located)
on US Highway 29 within the Chatham-)
Blairs Election District and recorded)
as parcel ID # 2423-19-0816 in the)
in the Pittsylvania County tax records)

PETITION

TO THE HONORABLE SUPERVISORS OF PITTSYLVANIA COUNTY:


WHEREAS, your Petitioner, The Board of Supervisors of Pittsylvania County, Virginia a political subdivision of the Commonwealth of Virginia, respectfully file this petition pursuant to Sections 35-806 and 35-807 of the Pittsylvania County Zoning Ordinance and in accordance with the Code of Virginia, 1950, as amended, and would respectfully show the following:

- (1) The Petitioners are the Owners of the above-referenced parcel.
- (2) The property is presently zoned under the provisions of the Pittsylvania County Zoning Ordinance as A-1, Agricultural District.
- (3) Your petitioner now desires to have the property rezoned to M-2, Heavy Industry.

WHEREFORE, your Petitioner respectfully requests that the Zoning Ordinance of Pittsylvania County be amended and that the above-referenced parcel of land be rezoned as set out in Number 3.

FURTHER, your Petitioner respectfully requests that this petition be referred by the Director of Community Development to the Pittsylvania County Planning Commission for its consideration and recommendation.

Respectfully submitted,



David F Arnold

August 24, 2023

VIA HAND DELIVERY

Emily S. Ragsdale
Director of Community Development/Zoning Administrator
53 Main Street
Chatham, Virginia 24531

Re: *Rezoning Application (GPIN # 2423-19-0816)*

Dear Mrs. Ragsdale:

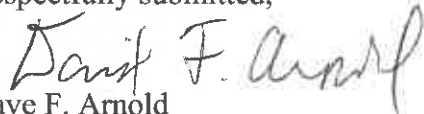
On behalf of the Pittsylvania County Board of Supervisors, enclosed is the application and supporting documentation to rezone GPIN # 2423-19-0816 from A-1, Agricultural, to M-2, Industrial District, Heavy Industrial, to allow for a “public facility” to be constructed on this property. This parcel is well-suited for a new jail facility due to its central location, size, accessibility to a U.S. Highway 29, and available utility infrastructure. Moreover, consultants have conducted extensive due diligence evaluating the environmental and geotechnical conditions at this site. Finally, the results of the Phase I Environmental Site Assessment and geotechnical survey support the feasibility of this property as the site for a new jail.

The County’s current jail, constructed in 1980, is rated by the Virginia Department of Corrections to house only 36 inmates. However, the current jail frequently houses more than 100 inmates, with additional inmates housed with the Blue Ridge Regional Jail Authority. The County’s court system, as well as the Sheriff’s Department, have recognized for decades a pressing need for a larger jail facility.

The new jail will have 146 beds, with a core (*i.e.*, HVAC, laundry, dining, etc.) built to accommodate 202 beds, should a future expansion be necessary. It will also contain additional space allowing for enhanced adult programs, such as inmate education through distance learning and GED classes, substance abuse education, and religious programs that are proven to substantially reduce recidivism rates. The new jail will also be incorporating state of the art technology and best practices to manage inmates, instead of more traditional forms of inmate control and monitoring using guard towers and high fencing with razor wire.

The Board appreciates this opportunity to present this rezoning application for consideration and approval. If you have any additional related questions, please contact County Staff or the Honorable Mike Taylor, Sheriff.

Respectfully submitted,


Dave F. Arnold
Assistant County Administrator

Encls.

Cc: PCET (via email); (w/o encls.)
Hon. PCBOS (via email); (w/o encls.)
Hon. Mike Taylor (Sherriff); (via email); (w/o encls.)

OFFICE OF
COMMUNITY
DEVELOPMENT

PITTSYLVANIA

COUNTY, VIRGINIA

P.O. DRAWER D
Chatham, Virginia 24531
(434) 432-1771

SIGN AFFIDAVIT

Sec. 35-817. POSTING OF PROPERTY - PLANNING COMMISSION HEARING-

At least fourteen (14) days preceding the Commission's public hearing on a zoning map amendment, there shall be erected on the property proposed to be rezoned, a sign or signs provided by the Zoning Administrator indicating the date, time, and place of the public hearing. The sign shall be erected within ten (10) feet of whatever boundary line of such land abuts a public road and shall be so placed as to be clearly visible from the road with the bottom of the sign not less than two and one-half (2 1/2) feet above the ground. If more than one (1) such road abuts the property, then a sign shall be erected in the same manner as above for each such abutting road. If no public road abuts thereon, then signs shall be erected in the same manner as above on at least two (2) boundaries of the property abutting land not owned by the applicant.

Sec. 35-818. POSTING OF PROPERTY - BOARD OF SUPERVISORS HEARING-

When a public hearing has been scheduled before the Board of Supervisors for a Zoning Map amendment, there shall be erected, at least fourteen (14) days preceding such hearing, a sign or signs provided by the Zoning Administrator indicating the date, time and place of the public hearing. Such sign or signs shall be erected in the same manner as prescribed in Section 35-817 above.

Sec. 35-819. MAINTENANCE AND REMOVAL OF SIGNS.

Any sign erected in compliance with this section shall be maintained at all times by the applicant up to the time of the hearing. It shall be unlawful for any person, except the applicant or the Zoning Administrator or an authorized agent of either, to remove or tamper with any sign furnished during the period it is required to be maintained under this Section. All signs erected under this Section shall be removed by the applicant within fourteen (14) days following the public hearing for which it was erected.

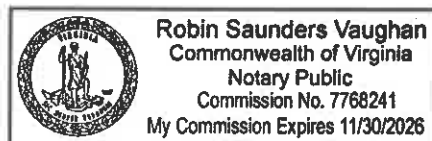
I have read and understand Sections 35-817, 35-818, and 35-819 of the Pittsylvania County Zoning Ordinance. I understand it is my responsibility to post, maintain and remove this/these sign or signs, according to Section 35-817, Section 35-818, and 35-819. If this sign is removed or destroyed, I understand it is my responsibility to obtain another sign from the Zoning office, post the property and maintain the sign(s), according to the above Sections of the Pittsylvania County Zoning Ordinance.

Should the property not be posted and the sign(s) maintained as required above, I understand the board may defer the case.

Case R-23-026 Applicant Jan F. Amel Date 8/24/2023

Sworn to and subscribed before me in my presence this 24th day of August, 2023 in my City and State aforesaid, by Robin Vaughan Notary Public. My commission Expires: 11/30/2026

Robin Vaughan



SPECIAL POWER OF ATTORNEY

Property Description (Tax Map Number, Street Address or Common Description, Borough):

11965 U S HIGHWAY NO 29

CHATHAM, VA 24531

Tax Map # 2423-19-0816


I/we The Board of Supervisors of Pittsylvania County, Virginia, a political subdivision of the Commonwealth of Virginia, am/are:

_____ the applicant for the above-referenced application

X the owner(s) of the property described above

I/we do hereby make, constitute, and appoint Tony Bell or other Moseley Architects or Timmons Group staff, authorized agent of The Board of Supervisors of Pittsylvania County, my/our true and lawful attorney-in-fact, and grant unto my/our attorney-in-fact full power and authority to make any and all applications and execute any related documents required in connection with all zoning and/or permitting matters related to rezoning of parcel 2423-19-0816 from A-1 to M-2, on the above described property (the "Property"), and to perform all acts and make all agreements as such person shall deem necessary or appropriate in regard to said zoning and/or permitting matters, including but not limited to the following authority: the authority to negotiate with localities; to sign and submit proffers that would constitute binding conditions on the Property; to agree to conditions and bind the Property with conditions, whether through proffers or other agreements; to sign and submit applications, agreements and/or other documents in connection with rezoning, conditional rezoning, special use permits, conditional use permits, special exceptions, zoning variances, building permits and/or any other permits related to planning, design, and construction of a new public facility, on the Property; and to modify or amend any documents in whole or in part relating to such applications, agreements and related documents.

I/we ratify all actions taken to date in connection with the zoning and/or permitting of the Property related to rezoning of parcel 2423-19-0816 from A-1 to M-2, on the Property.

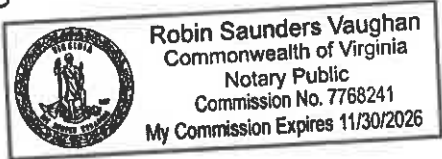

Owner: Print Name Dave Arnold

Commonwealth of Virginia City/County of Pittsylvania, to-wit:

Subscribed and sworn to before me this 24th day of August, 2023 in my City and State aforesaid, by Robin S. Vaughan Notary Public.

My Commission Expires: 11-30-2026.

Robin S. Vaughan

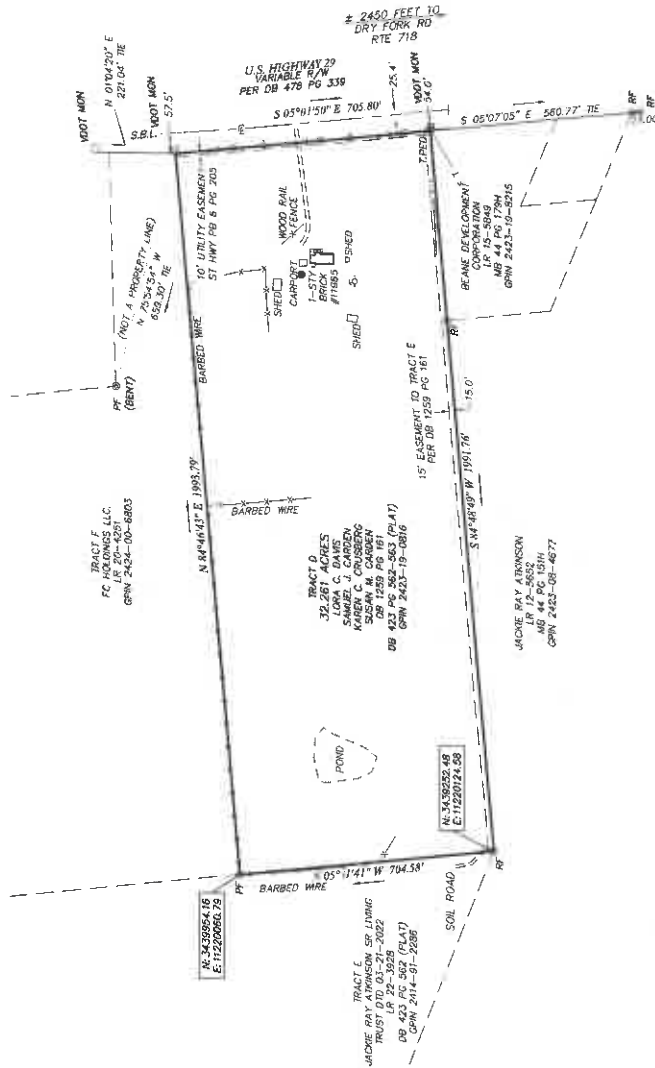


GPIN	ACCOUNT HOLDER	ACCOUNT ADDRESS	ACCOUNT_CSZ
2423-08-4677	ATKINSON, JACKIE RAY JR	7441 DRY FORK RD	DRY FORK, VA 24549
2423-29-7700	BOARD OF SUPERVISORS PITTS CO	P O BOX 426	CHATHAM, VA 24531
2423-19-8215	BEANE DEVELOPMENT CORPORATION	2 RODE HOLE	WILLIAMSBURG, VA 23
2414-91-2286	ATKINSON JACKIE RAY SR LIVING TRUST DTD 3/21/2022	11541 US HWY 29	CHATHAM, VA 24531
2424-00-6803	FC HOLDINGS LLC	1261 SMITH MOUNTAIN RD	PENHOOK, VA 24137
2424-30-7366	OWEN FARMS INC	1261 OWEN ROAD	BLAIRS, VA 24527
2424-20-7548	COPART OF CONNECTICUT INC	14185 DALLAS PARKWAY SUITE 300	DALLAS, TX 75254

R-23-026 BOARD OF SUPERVISORS

NOTES:

1. THIS PLAT HAS BEEN PREPARED FROM AN ACTUAL FIELD SURVEY AS PER DATE OF THIS PLAT AND THERE ARE NO READILY APPARENT EASEMENTS OR ENCROACHMENTS EXCEPT AS SHOWN.
2. THIS PLAT HAS BEEN PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND THEREFORE, DOES NOT NECESSARILY SHOW ALL ENCUMBRANCES ON THE PROPERTY.
3. THE AREA SHOWN HEREON IS NOT LOCATED IN A 100 YEAR FLOOD HAZARD ZONE PER FEMA FLOOD MAP 57400088E EFFECTIVE 09-29-2010.
4. THE SURVEYOR HAS CONDUCTED VISUAL INSPECTION OF THE DISTRICT AND HAS ENVIRONMENTALLY SENSITIVE AREAS OR ANY ENVIRONMENTAL PROBLEMS LOCATED ON THE SURVEYED PREMISES.
5. NOT ALL PHYSICAL IMPROVEMENTS ARE NECESSARILY SHOWN AS PART OF THIS BOUNDARY RESURVEY. ONLY IMPROVEMENTS WHICH ENJOACH ON THE LINE OR ARE IN CLOSE PROXIMITY TO THE LINE ARE SHOWN.
6. COORDINATES SHOWN ON IRON PIPES FOUND ARE BASED ON GPS READINGS AND SHOULD ONLY BE USED FOR THEIR INTENDED PURPOSE OF ASSISTING THE PITTSYLVANIA COUNTY GIS SYSTEM.



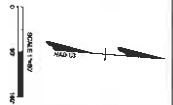
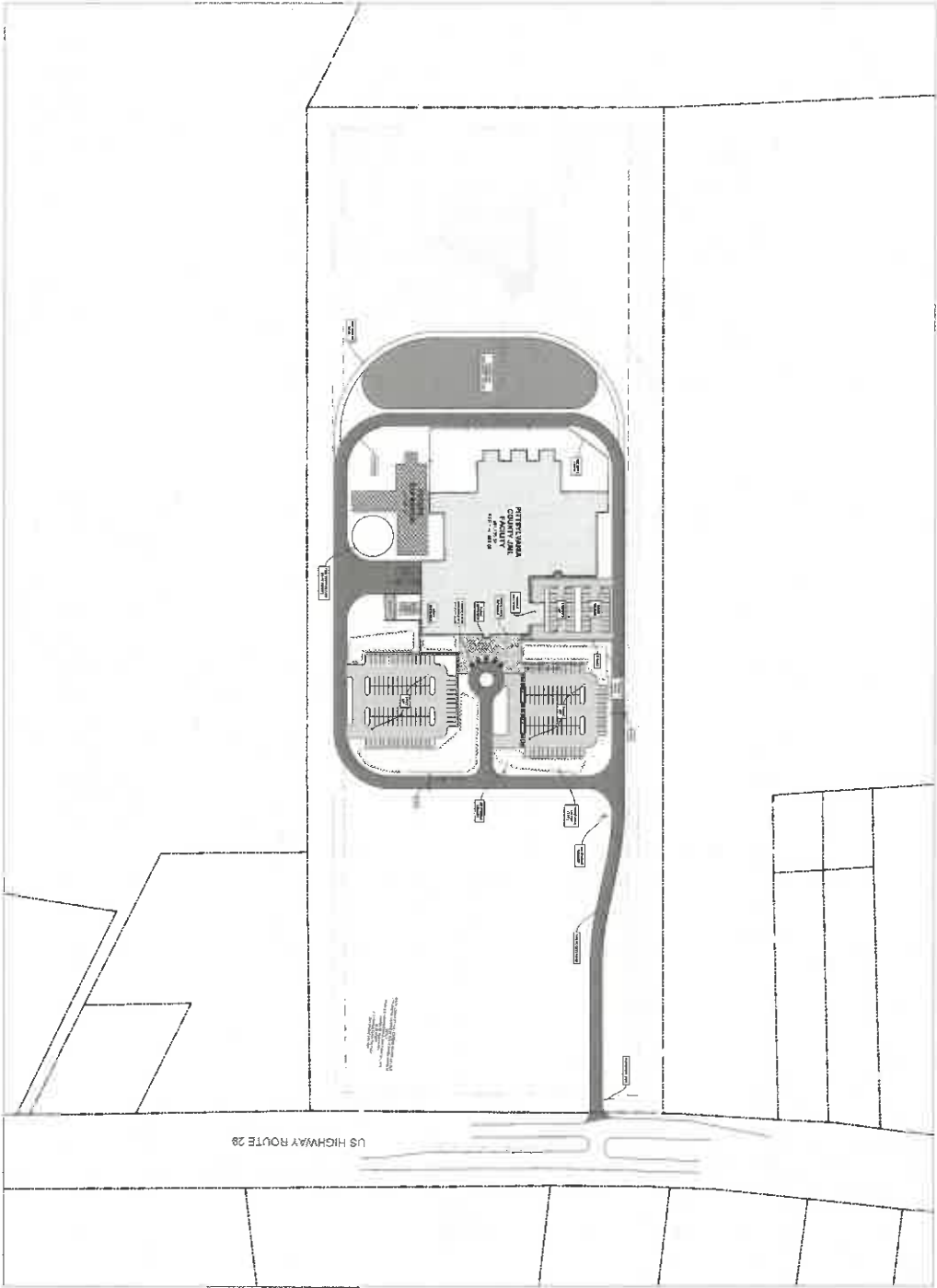
LEGEND

- PF ○ PIPE FOUND
- PF ⊙ REBAR FOUND
- IRON FOUND AS FOUND
- UTILITY POLE
- WELL
- ON — ASPHALT ELECTRIC
- — — — — CABLELINE
- — — — — FENCE
- — — — — EDGE OF PAVEMENT
- — — — — CONCRETE



ARMSTRONG & ASSOCIATES
 105 NORTHVALE ROAD - SUITE 100
 PITTSYLVANIA, VIRGINIA 24151-4001
 PH: 540.221.7800 FAX: 540.221.7801

DRAWN BY: MEG DATE: 05-10-2023 PROJECT #2301
 PLAT SHOWING
 BOUNDARY SURVEY OF THE PROPERTY OF
LORA C. DAVIS, SAMUEL J. CARDEN, KAREN C. CRUESBERG, & SUSAN M. CARDEN
 CHATHAM DISTRICT, PITTSYLVANIA COUNTY, VIRGINIA



CS100

11/9/96 U.S.
HIGHWAY 29

PITTSYLVANIA COUNTY DETENTION CENTER

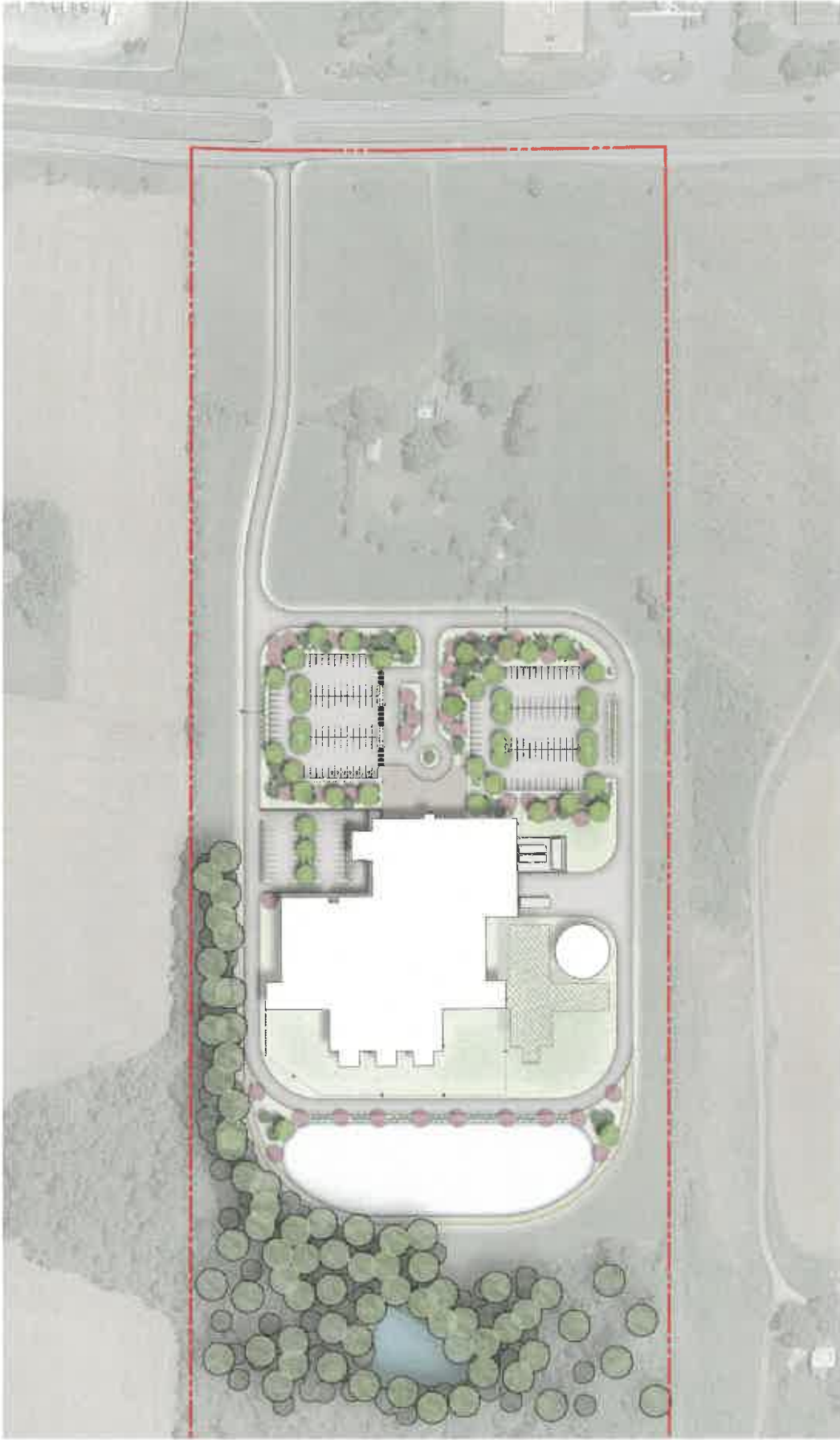
PITTSYLVANIA COUNTY
PITTSYLVANIA COUNTY, VA



PROGRESS
PRINT NOT FOR
CONSTRUCTION

MOSELEYARCHITECTS

3200 NORFOLK ST. #200, RICHMOND, VA 23298
PHONE: 800-754-7008 FAX: 804-338-6600
MOSELEYARCHITECTS.COM



CONCEPTUAL RENDERING

Pittsylvania Jail - August 23, 2023

Sample images - proposed Pittsylvania County jail



Sample images - proposed Pittsylvania County jail



Aerial RSW Regional Jail



Exterior RSW Regional Jail



Aerial BR Regional Jail - Amherst



Image provided by Google

Exterior image BR Regional Jail



STAFF SUMMARY

<u>CASE</u> R-23-027	<u>ZONING REQUEST</u> R-1 & A-1 to A-1	<u>CYCLE</u> October 2023/November 2023
<u>SUBJECT/PROPOSAL/REQUEST</u> Connie Horsley is requesting to rezone property from R-1, Residential Suburban Subdivision District, & A-1, Agricultural District, to A-1, Agricultural District. DISTRICT: Tunstall		PLANNING COMMISSION: October 3, 2023 BOARD OF SUPERVISORS: November 13, 2023 ADVERTISED: September 20 & 27, 2023 & October 25, 2023 & November 1, 2023

SUBJECT

Requested by Connie Sue Gardner Horsley, to rezone property located on Primitive Baptist Road West, in the Tunstall Election District and shown on the Tax Maps as GPIN # 1461-62-5579. The applicant is requesting to rezone 43.00 acres, from A-1, Agricultural District, and R-1, Residential Suburban Subdivision District, to A-1, Agricultural District, to allow for the placement of a doublewide mobile home.

BACKGROUND/DISCUSSION

Connie Horsley is requesting 43.00 acres, from R-1, Residential Suburban Subdivision District, and A-1, Agricultural District, to A-1, Agricultural District. The property is currently double zoned R-1, Residential Suburban Subdivision District, and A-1, Agricultural District. This property was created when a plat was recorded combining two properties that did not share the same zoning classification, and without proper approval from the Subdivision Agent, giving the property two zoning classifications. In order to bring the property into compliance and assign a single zoning classification, the property must be rezoned. If rezoned, property lines will be redrawn and a doublewide will be placed on the property.

A plat titled *Connie Sue Gardner Horsley* has been submitted with the application to present the proposed property line adjustments.

Once the property is rezoned to A-1, all uses listed under Section 35-178 are a permitted use.

FUTURE LAND USE DESIGNATION

The Comprehensive Plan designates the future land use as Agricultural and Rural Residential.

ZONING AND CURRENT USE OF SURROUNDING PROPERTIES

Adjacent to A-1, Agricultural District, and R-1, Residential Suburban Subdivision District, zoned properties.

SITE DEVELOPMENT PLAN

N/A

RECOMMENDATION

Staff recommends APPROVAL of Case R-23-027, submitted by Carol Horsley, requesting to rezone a total of 43.00 acres located at 477 Primitive Baptist Road, in the Tunstall Election District and shown on the Tax Maps as GPIN # 1461-62-5579. The subject property is adjacent to properties currently zoned A-1, Agricultural District and the rezoning would be consistent with the County's Comprehensive Plan.

PLANNING COMMISSION OPTIONS:

1. Recommend approval of Case R-23-027 as submitted.
2. Recommend denial of Case R-23-027 as submitted.

ATTACHMENTS:

- A. Application
- B. Maps
- C. Letter of Intent
- D. Executive Summary
- E. Petition
- F. Sign Affidavit
- G. Adjacent Parcel Owners

**PITTSYLVANIA COUNTY
APPLICATION FOR REZONING**

Connie Horsley, as owner of the below described property, hereby apply to the Pittsylvania County Board of Supervisors to amend the Pittsylvania County Zoning Maps as hereinafter described:

1. Property Owner's Name: Connie Horsley
Address: 477 Primitive Baptist Road, Dry Fork, VA 24549

2. Location of Property: 477 Primitive Baptist Road

Telephone: 434-728-4910

3. Tax Map Number: 1461-62-5579

4. Election District: Tunstall

Total Amount: \$359.71

Taken By: CKH 5405

5. Size of Property: 43.00 acres

OH

6. Existing Land Use: 2 Single-wide Mobile Homes

Existing Zoning: R-1, Residential Suburban Subdivision District & A-1 Agricultural District

7. Proposed Land Use: To clean up zoning & survey off a new lot for a double-wide mobile home

Proposed Zoning: A-1, Agricultural District

8. Are conditions being proffered: Yes X No

9. Check completed items:

<u> X </u> Letter of Application	<u> </u> Site Development Plan or Waiver	<u> X </u> Legal Forms
<u> </u> 11"x 17" Concept Plan	<u> X </u> Application Fee	<u> X </u> List of Adjoining Properties
<u> X </u> Plat Map	<u> </u> Copy of Deed	<u> </u> Copy of Deed Restrictions Or Covenants

Through application for this permit, the owner authorizes a right-of-entry to the designated personnel of Pittsylvania County for the purpose of site evaluation and monitoring for compliance with the Pittsylvania County Zoning Ordinance.

Connie Horsley
Connie Horsley

OFFICE USE ONLY

Application Deadline: 08/31/23

Received By: ESR

B.O.S. Meeting Date: 11/21/23

Application No. R-23-027

P.C. Meeting Date: 10/03/23

Date Received: 08/29/23

Action: _____

**VIRGINIA:
BEFORE THE BOARD OF SUPERVISORS OF PITTSYLVANIA COUNTY**

43.00 acres of land, generally located)
at 477 Primitive Baptist Road within the)
the Tunstall Election District and recorded)
as parcel ID # 1461-62-5579 in the)
Pittsylvania County tax records.)

PETITION

TO THE HONORABLE SUPERVISORS OF PITTSYLVANIA COUNTY:

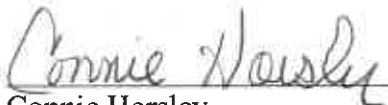
WHEREAS, your Petitioner, Connie Horsley, respectfully files this petition pursuant to Sections 35-806 and 35-807 of the Pittsylvania County Zoning Ordinance and in accordance with the Code of Virginia, 1950, as amended, and would respectfully show the following:

- (1) The Petitioner is the Owner of the above-referenced parcel.
- (2) The property is presently zoned under the provisions of the Pittsylvania County Zoning Ordinance as R-1, Residential Suburban Subdivision District & A-1, Agricultural District.
- (3) Your petitioner now desires to have the property rezoned to A-1, Agricultural District.

WHEREFORE, your Petitioner respectfully requests that the Zoning Ordinance of Pittsylvania County be amended and that the above-referenced parcel of land be rezoned as set out in Number 3.

FURTHER, your Petitioner respectfully requests that this petition be referred by the Director of Community Development to the Pittsylvania County Planning Commission for its consideration and recommendation.

Respectfully submitted,



Connie Horsley

August 31, 2023

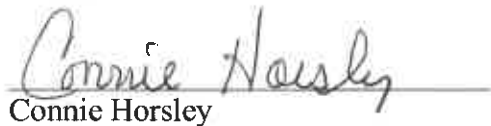
Mrs. Emily Ragsdale
Director of Community Development
P. O. Drawer D
Chatham, VA 24531

Dear Mrs. Ragsdale:

Connie Horsley, as owner, would like to apply to the Planning Commission/Board of Supervisors to rezone 43.00 acres, GPIN # 1461-62-5579, located at 477 Primitive Road, in the Tunstall Election District.

I am requesting to rezone this parcel from R-1, Residential Suburban Subdivision District, & A-1, Agricultural to A-1, Agricultural District to allow for placement of a double-wide home.

Sincerely,


Connie Horsley



OFFICE OF COMMUNITY DEVELOPMENT
P.O. DRAWER D
Chatham, Virginia 24531
(434) 432-1771

SIGN AFFIDAVIT

Sec. 35-817. POSTING OF PROPERTY - PLANNING COMMISSION HEARING-

At least fourteen (14) days preceding the Commission's public hearing on a zoning map amendment, there shall be erected on the property proposed to be rezoned, a sign or signs provided by the Zoning Administrator indicating the date, time, and place of the public hearing. The sign shall be erected within ten (10) feet of whatever boundary line of such land abuts a public road and shall be so placed as to be clearly visible from the road with the bottom of the sign not less than two and one-half (2 1/2) feet above the ground. If more than one (1) such road abuts the property, then a sign shall be erected in the same manner as above for each such abutting road. If no public road abuts thereon, then signs shall be erected in the same manner as above on at least two (2) boundaries of the property abutting land not owned by the applicant.

Sec. 35-818. POSTING OF PROPERTY - BOARD OF SUPERVISORS HEARING-

When a public hearing has been scheduled before the Board of Supervisors for a Zoning Map amendment, there shall be erected, at least fourteen (14) days preceding such hearing, a sign or signs provided by the Zoning Administrator indicating the date, time and place of the public hearing. Such sign or signs shall be erected in the same manner as prescribed in Section 35-817 above.

Sec. 35-819. MAINTENANCE AND REMOVAL OF SIGNS.

Any sign erected in compliance with this section shall be maintained at all times by the applicant up to the time of the hearing. It shall be unlawful for any person, except the applicant or the Zoning Administrator or an authorized agent of either, to remove or tamper with any sign furnished during the period it is required to be maintained under this Section. All signs erected under this Section shall be removed by the applicant within fourteen (14) days following the public hearing for which it was erected.

I have read and understand Sections 35-817, 35-818, and 35-819 of the Pittsylvania County Zoning Ordinance. I understand it is my responsibility to post, maintain and remove this/these sign or signs, according to Section 35-817, Section 35-818, and 35-819. If this sign is removed or destroyed, I understand it is my responsibility to obtain another sign from the Zoning office, post the property and maintain the sign(s), according to the above Sections of the Pittsylvania County Zoning Ordinance.

Should the property not be posted and the sign(s) maintained as required above, I understand the board may defer the case.

Case R-23-027 Applicant Connie Housely Date 9/11/23

GPIIN	ACCOUNT HOLDER	ACCOUNT ADDRESS	ACCOUNT_CSZ
1461-72-5100	PRITCHETT, NICHOLAS JORDAN	12321 MT CROSS RD	DRY FORK, VA 24549
1461-63-8406	TURNER, JIMMY LEE JR	425 PRIMITIVE BAPTIST RD	DRY FORK, VA 24549
1461-52-2618	MITCHELL, PENELOPE H	741 PRIMITIVE BAPTIST RD W	DRY FORK VA 24549
1461-60-7636	HYLER, MICHAEL N	690 MEDICAL CENTER ROAD	DANVILLE, VA 24540
1461-54-9621	GASSER, DANIEL STUART	466 PRIMITIVE BAPTIST RD WEST	DRY FORK, VA 24549
1461-53-5022	CARTER, BRYSON T	581 PRIMITIVE BAPTIST RD	DRY FORK, VA 24549
1461-61-2839	PRICE, THOMAS L	647 PRIMATIVE BAPTIST RD W	DRY FORK, VA 24549

R-23-027 CONNIE HORSLEY

SPECIAL POWER OF ATTORNEY

Property Description (Tax Map Number, Street Address or Common Description, Borough):

477 Primitive Baptist Rd.

W. Dryfork

Tax Map # 1461-62-5579-

I/we Connie S. Horsley, am/are:

_____ the applicant for the above-referenced application

_____ the owner(s) of the property described above

I/we do hereby make, constitute, and appoint Alexus Broadnax authorized agent of Clayton Homes, my/our true and lawful attorney-in-fact, and grant unto my/our attorney-in-fact full power and authority to make any and all applications and execute any related documents required in connection with all zoning and/or permitting matters related to 477 Primitive Baptist Rd. W. Dryfork VA, on the above described property (the "Property"), and to perform all acts and make all agreements as such person shall deem necessary or appropriate in regard to said zoning and/or permitting matters, including but not limited to the following authority: the authority to negotiate with localities; to sign and submit proffers that would constitute binding conditions on the Property; to agree to conditions and bind the Property with conditions, whether through proffers or other agreements; to sign and submit applications, agreements and/or other documents in connection with rezoning, conditional rezoning, special use permits, conditional use permits, special exceptions, zoning variances, building permits and/or any other permits related to 1461-62-5579 on the Property; and to modify or amend any documents in whole or in part relating to such applications, agreements and related documents.

I/we ratify all actions taken to date in connection with the zoning and/or permitting of the Property related to 477 Primitive Baptist Rd., on the Property.

Connie S Horsley
Owner: Print Name Connie S Horsley

Commonwealth of Virginia

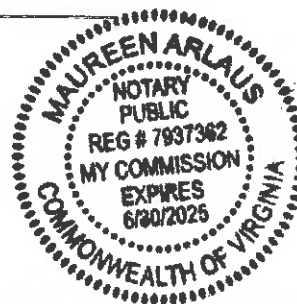
City/County of Henry, to-wit:

Subscribed and sworn to before me this 29 day of August, 2023

in my City and State aforesaid, by Maureen Arlaus

Notary Public.

My Commission Expires: 6-30-25



Tuesday 08/29/23

Attn: Pittsylvania Code Compliance,

I Connie Sue Horsley would like to
Request Rezoning of property 14W-62-5579
Known as 477 Primitive Baptist Rd. W.
Dryfork VA 24549, from R1 to A1. I
Connie Sue Horsley will have the
Preliminary Plat completed and sent to
Pittsylvania Code Compliance.

Thank You.

Connie S Horsley

ArcGIS Web Map



8/29/2023, 10:42:13 AM

1:4,514

Virginia Cities and Counties

County

Tax Parcels (All)

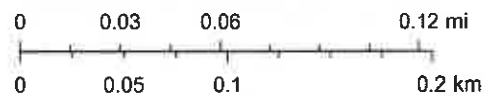
Assessed Parcels

Assessed Parcels Labels

Addresses

Streets

ALL OTHER



Esri Community Maps Contributors, VGIN, © OpenStreetMap, Microsoft, Esri, HERE, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, EPA, NPS, US Census Bureau, USDA, Virginia Geographic Information Network (VGIN)

ArcGIS Web AppBuilder

STAFF SUMMARY

CASE S-23-012	ZONING REQUEST SUP	CYCLE October 2023/November 2023
SUBJECT/PROPOSAL/REQUEST Southside Investing is requesting a Special Use Permit for commercial uses (grocery anchored shopping center, restaurants, offices, assisted living/dementia care facility, and a hotel for service to the residents of the planned area and its adjacent communities).		PLANNING COMMISSION: October 3, 2023 BOARD OF ZONING APPEALS: November 13, 2023 ADVERTISED: September 20 & 27, 2023, October 25, 2023 & November 1, 2023
DISTRICT: Tunstall Election District		

SUBJECT

Requested by Southside Investing, LLC, for a Special Use Permit for commercial uses such as a grocery anchored shopping center, restaurants, offices, assisted living/dementia care facility, and a hotel for service to the residents of the planned area and its adjacent communities in accordance with Pittsylvania County Code § 35-295. The property is 313.72 acres, located on US Highway 58/Martinsville Highway in the Tunstall Election District and shown on the Tax Map as GPIN # 1349-33-2695.

BACKGROUND/DISCUSSION

The applicant is requesting a Special Use Permit for commercial uses (grocery anchored shopping center, restaurants, offices, assisted living/dementia care facility, and a hotel for service to the residents of the planned area and its adjacent communities) in accordance with Pittsylvania County Code § 35-295. The subject property is zoned RPD, Residential Planned Unit Development District. As part of the rezoning request approved by the Board of Supervisors on August 15, 2023, a conceptual site plan was submitted and approved showing detached and attached single-family and multi-family residential units, senior living villas, and a mixture of commercial uses, including but not limited to, a grocery store, retail spaces, a hotel, a daycare, and office spaces. The site plan shows 308 multi-family units, 613 townhomes, and 1,068 single family homes. The developers have met with Pittsylvania County Public Works to discuss anticipated water and sewer needs, representatives with VDOT to discuss potential traffic improvements and potential Traffic Impact Analysis requirements, and Pittsylvania County Public Safety to discuss potential impacts to Fire and EMS services.

Public Works Staff have stated that there is some excess capacity in the water purchase agreement with Henry County. Additionally, water could be provided from the City of Danville through the water purchase agreement the County has with the City of Danville to meet any project supply needs over what could be provided by Henry County. Currently, the sewer collection lines end at Whispering Pines, approximately 2.75 miles from the subject properties. Staff has communicated with the applicant that any costs incurred to extend the current sewer system to the proposed project, including collection lines and any need upgrades to the pump station would be paid by the developer, and the developers offered a proffer during the rezoning process to this effect. Staff will need to verify that the City of Danville has excess capacity in their wastewater treatment facility to accommodate the amount of waste that would be created by this development. Public Works Staff has initiated those conversations with the City of Danville.

The Virginia Department of Transportation has met with County Staff and the applicants on multiple occasions to discuss traffics impacts. The applicants have contracted with Dewberry to complete the Traffic Impact Analysis (“TIA”) that is required to be completed by the Virginia State Code. Once Dewberry has completed the TIA, County Staff will submit it to VDOT for their review. After completing their review,

VDOT will make recommendations to mitigate adverse traffic impacts. The applicants offered a proffer during the rezoning process that will required them to complete the required TIA and implement any recommendations from VDOT. Additionally, VDOT will review the subdivision plat that will have to be recorded prior to construction permits being issued. They will not sign the plat if the recommendations associated with the TIA have not been implemented. The plat cannot be recorded without VDOT's approval; therefore, the project could not proceed.

Pittsylvania County Public Safety and the Sheriff's Department have also had conversations with the applicants relating to the impact that this project will likely have on public safety. Currently there are 2,300 households within the Brosville Volunteer Fire Department's service area. On average, they respond to approximately 650 calls a year. They currently have a 100% response rate to calls. In previous years, they have had call volumes that peaked around 900 calls and were able to maintain a 98-99% response rate. After speaking with the Chief at Brosville, Public Safety feels that the department could currently accommodate an increased call volume that would be expected with an additional 500 residential units, or the first phase of construction. The applicant has stated that they are willing to have additional conversations in the future relating to how they can support public service response for the development's impacts in future phases and proffered land that would be gifted to the County for future use to address fire and rescue related needs in the future during the rezoning process.

The developers have also held multiple public meetings in the community to answer questions and receive feedback from the residents. They continue to meet with residents, County Staff and other regulatory agencies to attempt to address concerns that arise from these meetings.

FUTURE LAND USE DESIGNATION

The Comprehensive Plan designates the future land use as Medium to High Density Residential and Commercial.

ZONING OF SURROUNDING PROPERTIES

Mostly surrounded by A-1, Agricultural District, and R-1, Residential Suburban Subdivision District zoned properties.

SITE DEVELOPMENT PLAN

N/A

RECOMMENDATION

Staff recommends APPROVAL of Case S-23-012 with the following conditions:

1. Prior to the approval of the first subdivision plat, the Applicant will submit to the County a traffic impact analysis performed in accordance with the Virginia Administrative Code (24 VAC 30-155). The traffic impact analysis shall (i) identify any traffic issues associated with access from the Property to the existing transportation network, (ii) outline solutions to potential problems, (iii) address the sufficiency of the future transportation network within a radius to be determined by VDOT, in the vicinity of the Property, and (iv) present improvements and anticipated timelines for improvements to be incorporated into the development of the Property. The scope of the analysis will be mutually agreed upon with the Virginia Department of Transportation ("VDOT"). The Applicant shall perform any transportation improvements as required by VDOT, in accordance with the deadlines established in any permits, to mitigate for impacts to the public transportation system which will occur because of this Project. All required permits will be obtained from VDOT prior to construction. For all improvements to the existing transportation system and for all proposed streets that VDOT will be asked to maintain, the Applicant will arrange for a firm not otherwise related to the Applicant or contractor to provide inspection services for construction. Inspection and testing methodology and frequency shall be accomplished in accordance with the VDOT Materials Division's Manual of Instructions and the VDOT Road and Bridge Specifications. A report shall be

submitted to VDOT summarizing the inspections steps taken, certifying the results of the inspection, and testing as accurate, and confirming that the streets or improvements were built to the approved specifications and pavement design, and signed and stamped by a professional engineer licensed to practice as such in the Commonwealth of Virginia.

2. The Applicant will maintain a setback of not less than one hundred feet (100') on the exterior lots of the Property.
3. On the site development plan or subdivision plat for each phase of the Property, the Applicant will identify tree save areas and will maintain at a minimum a thirty foot (30') vegetative buffer on the perimeter of the Property that adjoins property that is not included in the rezoning application. If the Applicant is required to disturb areas within the minimum thirty foot (30') vegetative buffer to construct any improvements, then the Applicant will install supplemental plantings consisting of staggered rows of planted trees and large shrubs that are intended for screening. At least fifty percent (50%) of the trees and/or shrubs used in the staggered rows shall be evergreen in nature. All planted vegetation shall be of varieties native or adaptable to the region that are expected to reach a minimum height of at least to fifteen (15) feet (or minimum of 10 feet if specifically designed for screening) in height at maturity and will be no less than six (6) feet at the time of planting.
4. Prior to construction, an approved erosion and sediment control plan will be implemented for the entire Project, and an erosion and sediment control bond will be provided.
5. Prior to construction, a Virginia Stormwater Management Program Permit from the Virginia DEQ will be obtained for the Project, including an approved Stormwater Pollution Prevention Plan.
6. Prior to construction, the Applicant shall prepare and submit to the Zoning Administrator a construction management plan to address traffic control methods, site access, fencing, lighting, mitigation of construction operations, and hours of construction activity.

PLANNING COMMISSION MOTIONS:

1. Recommend approval of Case S-23-012 as submitted.
2. Recommend approval of Case S-23-012 subject to conditions by the Planning Commission.
3. Recommend denial of Case S-23-012 as submitted.

ATTACHMENTS:

- A. Application
- B. Maps
- C. Letter of Intent
- D. Executive Summary
- E. Petition
- F. Sign Affidavit
- G. Adjacent Parcel Owners

SPECIAL POWER OF ATTORNEY

Property Description (Tax Map Number, Street Address or Common Description, Borough):

One parcel comprised of 313.72 acres
Tunstall Magisterial District, Axton, VA

Tax Map # 1349-33-2695

I/we Lonnie Dale Harris, Jr. & Richard Todd Curtis, am/are:

 the applicant for the above-referenced application

 X the owner(s) of the property described above

I/we do hereby make, constitute, and appoint See attached Exhibit A, authorized agent of See attached Exhibit A, my/our true and lawful attorney-in-fact, and grant unto my/our attorney-in-fact full power and authority to make any and all applications and execute any related documents required in connection with all zoning and/or permitting matters related to the Application for Special Use Permit, on the above described property (the "Property"), and to perform all acts and make all agreements as such person shall deem necessary or appropriate in regard to said zoning and/or permitting matters, including but not limited to the following authority: the authority to negotiate with localities; to sign and submit proffers that would constitute binding conditions on the Property; to agree to conditions and bind the Property with conditions, whether through proffers or other agreements; to sign and submit applications, agreements and/or other documents in connection with rezoning, conditional rezoning, special use permits, conditional use permits, special exceptions, zoning variances, building permits and/or any other permits related to the Application for Special Use Permit, on the Property; and to modify or amend any documents in whole or in part relating to such applications, agreements and related documents.

I/we ratify all actions taken to date in connection with the zoning and/or permitting of the Property related to the Application for Special Use Permit, on the Property.

[Signature]

Owner:

Print Name Lonnie Dale Harris, Jr.

[Signature]

Owner:

Print Name Richard Todd Curtis

Commonwealth of Virginia City/County of Danville, to-wit:
Subscribed and sworn to before me this 27th day of April, 2023, in my City and State aforesaid, by Veronica Norton Liggon Notary Public.
My Commission Expires: October 31, 2026.



**PITTSYLVANIA COUNTY
APPLICATION FOR SPECIAL USE PERMIT**

I/We, Lonnie Dale Harris, Jr. & Richard Todd Curtis as
Owner of the below described property, hereby apply to the Pittsylvania County Board of Zoning Appeals
to amend the Pittsylvania County Zoning Maps as hereinafter described:

- Lonnie Dale Harris, Jr. Phone: (434) 334-9606
Richard Todd Curtis Phone: (434) 441-0764
- Property Owner's Name: Richard Todd Curtis
Address: 281 Lakeside Lane, Providence, NC ZIP 27315 (Harris)
3059 County Home Road, Blanch, NC ZIP 27212-8123 (Curtis)
 - Location of Property: Northeastern quadrant of Route 58 and Martin Drive, Axton, VA
 - Tax Map Parcel Number: 1349-33-2695
 - Election District: Tunstall Magisterial District
 - Size of Property: 313.72 acres/square feet
Size of Proposed Special Use: 40 +/- acres/square feet
 - Existing Land Use: Forested
Existing Zoning: A-1 Agricultural District
 - Proposed Land Use: Mixed-Use Development under the Residential Planned Unit Development District with Special Use Permit issued pursuant to Section 35-295 that permits commercial uses inclusive of a grocery anchored shopping center, restaurants, offices, assisted living/dementia care facility and a hotel.
 - Check completed items: Letter of Application Site Development Plan Legal Forms
11" x 17" Concept Plan Application Fee Plat Map
List of Adjoining Properties
 - Any materials relating to a particular case, including a staff recommendation or report furnished to a member of the board, shall be made available without cost to such applicant, appellant or other person aggrieved. Such materials will be sent to the following email address, unless otherwise requested.
daleharris1985@gmail.com (Email)

Through application for this permit, the owner authorizes a right-of-entry to the designated personnel of Pittsylvania County for the purpose of site evaluation and monitoring for compliance with the Pittsylvania County Zoning Ordinance.

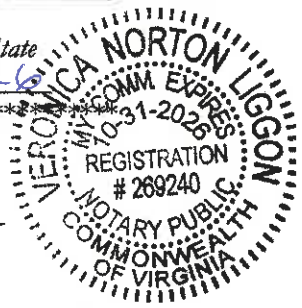
[Signature]
Applicant **Lonnie Dale Harris, Jr.**

[Signature]
Richard Todd Curtis

Sworn to and subscribed before me in my presence this 27th day of April, 2023 in my City and State
aforesaid, by Veronica Norton Liggon Notary Public. My commission Expires: October 31, 2026

OFFICE USE ONLY: Application No.: S-23-012

Application Deadline: 8/31/2023 P. C. Hearing Date: 10/3/2023
Received By: ESR Date Received: 8/16/2023
B.Z.A. Hearing Date: 11/13/2023 Action: _____



CK# 1234
\$ 350.00
[Signature]

VIRGINIA

:

BEFORE THE BOARD OF ZONING APPEALS OF PITTSYLVANIA COUNTY

A 313.72 acre parcel of land,)
generally located in Axton, VA)
within the Tunstall)
Election District, and recorded as)
parcel # 1349-33-2695 in the)
Pittsylvania County tax records.)

PETITION

TO THE BOARD OF ZONING APPEALS OF PITTSYLVANIA COUNTY:

WHEREAS, your Petitioner Southside Investing LLC respectfully files this petition pursuant to Section 35-713 of the Pittsylvania County Zoning Ordinance and in accordance with the Code of Virginia 1950, as amended, and would respectfully show the following:

- 1) The Petitioner is the owner of the above-referenced parcel of land, or is filing with the owner's consent.
- 2) The property is presently zoned under the provisions of the Pittsylvania County Zoning Ordinance as A-1 Agricultural District.
- 3) Your petitioner now desires to have a Special Use Permit issued for the purpose of Mixed-Use Development under the Residential Planned Unit Development District with Special Use Permit issued pursuant to Section 35-259 that permits commercial uses inclusive of a grocery anchored shopping center, restaurants, offices, assisted living/dementia care facility and a hotel.
WHEREFORE, your petitioner respectfully requests that the above-referenced parcel of land be issued a Special Use Permit as set out in Number 3.

Further, your Petitioner respectfully requests that this petition be referred by the Secretary to the Pittsylvania County Planning Commission for its consideration and recommendation.

Respectfully submitted,

Southside Investing LLC

By: [Signature]
Petitioner Lonnie Dale Harris, Jr., Member

By: [Signature]
Petitioner Richard Todd Curtis, Member

Sworn to and subscribed before me in my presence this 27th day of April, 2023 in my City and State aforesaid, by Veronica Norton Loggins Notary Public. My commission Expires: October 31, 2026



April 27, 2023

VIA HAND DELIVERY

Ms. Emily Ragsdale
Community Development Director/Zoning Administrator
Pittsylvania County
53 N. Main Street
Chatham, Virginia 24531

Re: Application Letter – Special Use Permit Application
TMP # - 1349-33-2695; 313.72 Acres; Axton, VA
Applicant: Southside Investing LLC

Dear Ms. Ragsdale:

On behalf of Southside Investing LLC (“Applicant”) please accept this writing as the required application letter in support of the above referenced special use permit application.

The Pittsylvania County Zoning Ordinance (the “Zoning Ordinance”) permits the construction of and operation of certain commercial uses in the Residential Planned Unit Development District with the approval of a special use permit by the Board of Zoning Appeals.

The Applicant is requesting approval of a Special Use Permit pursuant to Section 35-295 of the Zoning Ordinance that would permit certain commercial uses to include the following: (a) a grocery anchored shopping center; (b) restaurants; (c) offices; (d) barber and/or beauty shop; (e) assisted living or dementia/memory-care facility; and (f) a hotel (collectively the “SUP Uses”).

The Applicant will reach out to adjacent landowners, will continue additional outreach to answer any questions from the surrounding community, and will host community meetings beginning in May 2023.

We greatly appreciate your assistance and look forward to working with you and all stakeholders, as we proceed through the Special Use Permit approval process.

Sincerely,

Southside Investing, LLC

By: 
Lonnie Dale Harris, Jr., Member

By: 
Richard Todd Curtis, Member

GPIN	ACCOUNT HOLDER	ACCOUNT ADDRESS	ACCOUNT_CSZ
1349-47-0755	WARREN, CHARLES THOMAS	2201 PEACH ORCHARD ROAD	AXTON, VA 24054
1349-40-2401	TAYLOR, DEBRA B	15081 MARTINSVILLE HWY	CASCADE, VA 24069
1349-11-6265	BOLICK, ELLIS EUGENE	15629 MARTINSVILLE HWY	CASCADE, VA 24069
1349-30-6563	WHITE, GLEN E	15241 MARTINSVILLE HWY	CASCADE, VA 24069
1349-37-0328	SCEARCE, DAVID WAYNE	2553 PEACH ORCHARD RD	AXTON, VA 24054
1349-36-5990	MURPHY, THOMAS E	2305 PEACH ORCHARD RD	AXTON, VA 24054
1349-40-7177	TAYLOR, LARRY C	14915 MARTINSVILLE HWY	CASCADE, VA 24069
1349-51-8419	DUNKLEY, FRANK	14802 MARTINSVILLE HWY	CASCADE, VA 24069
1349-52-2116	WASHBURN, J WILSON JR	14920 MARTINSVILLE HWY	CASCADE, VA 24069
1349-43-8879	HARRIS, LONNIE DALE JR	281 LAKESIDE LN	PROVIDENCE, NC 27315
1349-03-6340	COUSIN, WAVERLY JR	1078 LOCUST DR	CASCADE, VA 24069
1349-02-9926	MULLINS, EARMEL J	15861 MARTINSVILLE HWY	CASCADE, VA 24069
1349-12-1482	WILSON, JOSEPH	1905 AXTON RD	AXTON, VA 24054
1349-11-9669	TAYLOR, ALVIN T JR	15537 MARTINSVILLE HWY	CASCADE, VA 24069
1349-10-9905	BRYANT, AMY POTTER	P O BOX 11543	DANVILLE, VA 24543
1349-20-3770	KEATTS, CLAY JR	15361 MARTINSVILLE HWY	CASCADE, VA 24069
1349-20-8756	DAVIS, JOE B	2749 KENTUCK RD	RINGGOLD, VA 24586
1349-21-9006	COTMAN, BRENDA W	311 TAFT DR	PORTSMOUTH, VA 23701
1349-12-6237	PAULEY, KENNETH EARL	15701 MARTINSVILLE HWY	CASCADE, VA 24069
1349-12-7192	TOLER, TAYLOR NATHANIEL	1500 OLD LEAKSVILLE RD	RIDGEWAY, VA 24148
1349-14-0111	PYRTLE, SHERRY SUE	P O BOX 182	AXTON, VA 24054
1349-14-3529	GODINEZ, GRACIELA SANTACRUZ	4345 MARTIN DRIVE	AXTON, VA 24054
1349-14-5857	WILLIS, EVA K	4261 MARTIN DRIVE	AXTON, VA 24054
1349-15-8277	HANEY, KENNETH F	4215 MARTIN DR	AXTON, VA 24054
1349-26-3172	LAWRENCE, BRUCE C	550 ISLAND CIRCLE E.	ST HELENA ISLAND, SC 29920
1349-56-2916	SOUTHSIDE INVESTING LLC	6135 PARK SOUTH DRIVE	CHARLOTTE, NC 28210

S-23-012 SOUTHSIDE INVESTING LLC

Axton Proper

Pittsylvania County Virg

KEY

- Project Boundary ±614.45 Acres
- Individual Property Boundaries
- Existing Contours (Interval= 1')
- Slope Analysis (Greater than 15%)
- Existing Stream
- Limits of Stream Buffer (50ft)



30 - 20ft Towns FG 1 car
 35 - 24ft Towns FG 2 car
 36 - 50ft SFD Lots
 26 - 60ft SFD Lots
 18 - 70ft SFD Lots
 151 Total Units
 34.3 acres = 4.4du/ac

16 - 24ft Towns FG 2 car
 80 - 50ft SFD Lots
 104 - 60ft SFD Lots
 88 - 70ft SFD Lots
 288 Total Units
 99.3 acres = 2.9du/ac

62 - 20ft Towns FG 1 car
 120 - 24ft Towns FG 2 car
 93 - 50ft SFD Lots
 66 - 60ft SFD Lots
 41 - 70ft SFD Lots
 382 Total Lots
 99.8 acres = 3.8du/ac

43 - 20ft Towns FG 1 car
 53 - 24ft Towns FG 2 car
 101 - 60ft SFD Lots
 98 - 60ft SFD Lots
 101 - 70ft SFD Lots
 398 Total Lots
 141.3 acres = 2.8du/ac

67 - 20ft Towns FG 1 car
 55 - 24ft Towns FG 2 car
 73 - 50ft SFD Lots
 75 - 60ft SFD Lots
 68 - 70ft SFD Lots
 338 Total Units
 115 acres = 2.9du/ac

180,000SF Commercial Properties
 68,000sf Grocery + Ancillary
 32,000sf Main Street Retail
 48,000sf Waterfront Boardwalk Retail
 32,000sf Commercial Pads along Rte 58
 Parking - 980 surface and street parking = 5.4 spaces/1000sf
 150 Room Hotel
 8,000SF Day Care Center
 308 Units Multi-Family - 4 Story -Tuck under ind. garages
 Senior Living
 100 Unit - 2 story Facility - Assisted & Independent
 90 - 28ft. Independent Attached Villas
 10,000SF Community Center
 126 - 20ft. Urban Townhomes - RG 2 car

Program

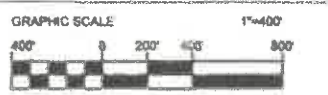
- Commerical
- Hotel
- Day Care
- Community Center
- Senior Living Facility
- Senior Villas
- 308 - Multi-Family Apartment Units
- 126 - 20ft Urban Townhomes
- 208 - 20ft Townhomes
- 279 - 24ft Townhomes
- 383 - 50ft Single Family Lots
- 369 - 60ft Single Family Lots
- 316 - 70ft Single Family Lots

1989 - Total Residential Units

Entry Blvd & Connection Streets
 Open Space and Parks
 Gross Land Area

Gross Residential Land Area
 Gross Residential Density

Open Space
 Non Buildable Areas & Parks
 Community Center
 Open Space in Residential Areas
 Approx. Open Space
 Approx. Percentage



SOUTHSIDE INVESTING, LLC
 MARTINSVILLE HIGHWAY (58)
 MIXED USE DEVELOPMENT
 EXISTING CONDITIONS -

April 20, 2023



STAFF SUMMARY

<u>CASE</u> S-23-015	<u>ZONING REQUEST</u> SUP	<u>CYCLE</u> October 2023/November 2023
<u>SUBJECT/PROPOSAL/REQUEST</u> Crown Castle is requesting a Special Use Permit for the placement of a cell tower.		PLANNING COMMISSION: October 3, 2023
DISTRICT: Westover Election District		BOARD OF ZONING APPEALS: November 13, 2023
		ADVERTISED: September 20 & 27, 2023, October 25, 2023 & November 1, 2023

SUBJECT

Requested by Crown Castle, for a Special Use Permit for the placement of a cell tower in accordance with Pittsylvania County Code § 35-295. The property is 289.47 acres, located on State Road 311/Berry Hill Road in the Westover Election District and shown on the Tax Map as GPIN # 1366-12-5834.

BACKGROUND/DISCUSSION

The applicant is requesting a Special Use Permit to allow a cell tower to be constructed on the subject property. The subject property is zoned M-1, Industrial District, Light Industry. According to Pittsylvania County Code § 35-384, Towers are allowed by Special Use Permit. The leased area for the proposed tower is approximately 0.1529 acres. The tower will be approximately 260 feet tall, including a 250-foot self-support tower with a 9-foot lightning rod and one foot foundation. Crown Castle is leasing this property from Waller S. Hairston, Allen Hairston, William H. Hairston, Anne Hairston Strang & Sallie H. Miller, and will own the tower. AT & T and three additional carriers' equipment will be installed once the tower is constructed.

FUTURE LAND USE DESIGNATION

The Comprehensive Plan designates the future land use as Agricultural and Rural Residential.

ZONING OF SURROUNDING PROPERTIES

Mostly surrounded by M-2, Industrial District, Heavy Industry, and A-1, Agricultural District zoned properties.

SITE DEVELOPMENT PLAN

Included.

RECOMMENDATION

Staff recommends APPROVAL of Case S-23-016.

PLANNING COMMISSION MOTIONS:

1. Recommend approval of Case S-23-016 as submitted.
2. Recommend approval of Case S-23-016 subject to conditions by the Planning Commission.
3. Recommend denial of Case S-23-016 as submitted.

ATTACHMENTS:

- A. Application
- B. Maps
- C. Letter of Intent

- D. Executive Summary
- E. Petition
- F. Sign Affidavit
- G. Adjacent Parcel Owners

PITTSYLVANIA COUNTY
APPLICATION FOR SPECIAL USE PERMIT

I/We, Waller S. Hairston, Allen Hairston, William H. Hairston, Anne Hairston Strang, Sallie H. Miller by Jonathan L. Yates as Authorized Agent and Jonathan L. Yates on behalf of Crown Castle, as Owner of the below described property, hereby apply to the Pittsylvania County Board of Zoning Appeals to amend the Pittsylvania County Zoning Maps as hereinafter described:

1. Property Owner's Name: Waller S. Hairston, Allen Hairston, William H. Hairston, Anne Hairston Strang, Sallie H. Miller Phone: 540-246-4177
Address: 313 Elm Avenue, Easton, MD
ZIP 21601

2. Location of Property: 5981 Berry Hill Road, Danville, VA 24069

3. Tax Map Parcel Number: 1366-12-5834

4. Election District: Westover

5. Size of Property: 289.47 Acres acres/square feet
Size of Proposed Special Use: 5006 sq. ft. acres/square feet

6. Existing Land Use: Vacant Woodlands
Existing Zoning: M-1

7. Proposed Land Use: 250 ft. Self-Support Wireless Communication Facility

8. Check completed items:
 Letter of Application Site Development Plan Legal Forms
 11" x 17" Concept Plan Application Fee Plat Map
 List of Adjoining Properties

9. Any materials relating to a particular case, including a staff recommendation or report furnished to a member of the board, shall be made available without cost to such applicant, appellant or other person aggrieved. Such materials will be sent to the following email address, unless otherwise requested.
llv@hellman.yates.com (Email)

Through application for this permit, the owner authorizes a right-of-entry to the designated personnel of Pittsylvania County for the purpose of site evaluation and monitoring for compliance with the Pittsylvania County Zoning Ordinance.


Applicant

Sworn to and subscribed before me in my presence this 28th day of August, 2023, in my City and State aforesaid, by [Signature] Notary Public. My commission Expires: 5/20/24

OFFICE USE ONLY: Application No.: S-23-015

Application Deadline: 8-31-2023 P. C. Hearing Date: 10-3-2023
Received By: ESR Date Received: 8-30-2023
B.Z.A. Hearing Date: 11-13-2023 Action: _____

check #
9542

VIRGINIA

:

BEFORE THE BOARD OF ZONING APPEALS OF PITTSYLVANIA COUNTY

A 289.47 acre parcel of land,)
generally located. 5981 Berry Hill Rd. Danville, VA)
within the Westover)
Election District, and recorded as)
parcel # 1368-12-5834 in the)
Pittsylvania County tax records.)

PETITION

TO THE BOARD OF ZONING APPEALS OF PITTSYLVANIA COUNTY:

WHEREAS, your Petitioner Jonathan L. Yates for Crown Castle respectfully files this petition pursuant to Section 35-713 of the Pittsylvania County Zoning Ordinance and in accordance with the Code of Virginia 1950, as amended, and would respectfully show the following:

- 1) The Petitioner is the owner of the above-referenced parcel of land, or is filing with the owner's consent.
- 2) The property is presently zoned under the provisions of the Pittsylvania County Zoning Ordinance as M-1 District.
- 3) Your petitioner now desires to have a Special Use Permit issued for the purpose of a Wireless Telecommunications Facility.

WHEREFORE, your petitioner respectfully requests that the above-referenced parcel of land be issued a Special Use Permit as set out in Number 3.

Further, your Petitioner respectfully requests that this petition be referred by the Secretary to the Pittsylvania County Planning Commission for its consideration and recommendation.

Respectfully submitted,



Petitioner

Sworn to and subscribed before me in my presence this 28th day of August, 2023, in my City and State
aforesaid, by [Signature] Notary Public. My commission Expires: 5/10/24

PITTSYLVANIA

COUNTY, VIRGINIA

OFFICE OF COMMUNITY DEVELOPMENT
P.O. Drawer D
Chatham, Virginia 24531
(434) 432-1771

SIGN AFFIDAVIT

Sec. 35-817. POSTING OF PROPERTY - PLANNING COMMISSION HEARING-

At least fourteen (14) days preceding the Commission's public hearing on a zoning map amendment, there shall be erected on the property proposed to be rezoned, a sign or signs provided by the Zoning Administrator indicating the date, time, and place of the public hearing. The sign shall be erected within ten (10) feet of whatever boundary line of such land abuts a public road and shall be so placed as to be clearly visible from the road with the bottom of the sign not less than two and one-half (2 1/2) feet above the ground. If more than one (1) such road abuts the property, then a sign shall be erected in the same manner as above for each such abutting road. If no public road abuts thereon, then signs shall be erected in the same manner as above on at least two (2) boundaries of the property abutting land not owned by the applicant.

Sec. 35-818, POSTING OF PROPERTY - BOARD OF SUPERVISORS HEARING-

When a public hearing has been scheduled before the Board of Supervisors for a Zoning Map amendment, there shall be erected, at least fourteen (14) days preceding such hearing, a sign or signs provided by the Zoning Administrator indicating the date, time and place of the public hearing. Such sign or signs shall be erected in the same manner as prescribed in Section 35-817 above.

Sec. 25-819. MAINTENANCE AND REMOVAL OF SIGNS.

Any sign erected in compliance with this section shall be maintained at all times by the applicant up to the time of the hearing. It shall be unlawful for any person, except the applicant or the Zoning Administrator or an authorized agent of either, to remove or tamper with any sign furnished during the period it is required to be maintained under this Section. All signs erected under this Section shall be removed by the applicant with fourteen (14) days following the public hearing for which it was erected.

I have read and understand Sections 35-817, 35-818, and 35-819 of the Pittsylvania County Zoning Ordinance. I understand it is my responsibility to post, maintain and remove this/these sign or signs, according to Section 35-817, Section 35-818, and 35-819. If this sign is removed or destroyed, I understand it is my responsibility to obtain another sign from the Zoning office, post the property and maintain the sign(s), according to the above Sections of the Pittsylvania County Zoning Ordinance.

Should the property not be posted and the sign(s) maintained as required above, I understand the board may defer the case.

Case CROWN CASTLE
BONNY HILL Applicant [Signature] Date 08.28.23

Sworn to and subscribed before me in my presence this 28th day of August, 2023, in my City and State aforesaid, by
[Signature] Notary Public. My commission Expires: 5/20/24

SPECIAL POWER OF ATTORNEY

Property Description (Tax Map Number, Street Address or Common Description, Borough):

5981 Berry Hill Road, Danville, VA 24069

Tax Map # 1366-12-5894

I/we Waller S. Hairston, am/are:

 the applicant for the above-referenced application

 the owner(s) of the property described above

I/we do hereby make, constitute, and appoint Jonathan L. Yates, authorized agent of Crown Castle Towers 06-2 LLC, my/our true and lawful attorney-in-fact, and grant unto my/our attorney-in-fact full power and authority to make any and all applications and execute any related documents required in connection with all zoning and/or permitting matters related to proposed wireless communications facility, on the above described property (the "Property"), and to perform all acts and make all agreements as such person shall deem necessary or appropriate in regard to said zoning and/or permitting matters, including but not limited to the following authority: the authority to negotiate with localities; to sign and submit proffers that would constitute binding conditions on the Property; to agree to conditions and bind the Property with conditions, whether through proffers or other agreements; to sign and submit applications, agreements and/or other documents in connection with rezoning, conditional rezoning, special use permits, conditional use permits, special exceptions, zoning variances, building permits and/or any other permits related to proposed wireless communications facility, on the Property; and to modify or amend any documents in whole or in part relating to such applications, agreements and related documents.

I/we ratify all actions taken to date in connection with the zoning and/or permitting of the Property related to proposed wireless communications facility, on the Property.

Waller S. Hairston

Owner:

Print Name Waller S. Hairston

Caroline, MD
Commonwealth of Virginia City/County of Caroline, to-wit:

Subscribed and sworn to before me this 17 day of July, 2023, in my City and State
aforesaid, by Stephanie Pearl Notary Public.

My Commission Expires: 8-17-2025



SPECIAL POWER OF ATTORNEY

Property Description (Tax Map Number, Street Address or Common Description, Borough):

5981 Berry Hill Road, Danville, VA 24069

Tax Map # 1366-12-5894

I/we Anne Hairston-Strang, am/are:

 the applicant for the above-referenced application

 X the owner(s) of the property described above

I/we do hereby make, constitute, and appoint Jonathan L. Yates, authorized agent of Crown Castle Towers 06-2 LLC, my/our true and lawful attorney-in-fact, and grant unto my/our attorney-in-fact full power and authority to make any and all applications and execute any related documents required in connection with all zoning and/or permitting matters related to proposed wireless communications facility, on the above described property (the "Property"), and to perform all acts and make all agreements as such person shall deem necessary or appropriate in regard to said zoning and/or permitting matters, including but not limited to the following authority: the authority to negotiate with localities; to sign and submit proffers that would constitute binding conditions on the Property; to agree to conditions and bind the Property with conditions, whether through proffers or other agreements; to sign and submit applications, agreements and/or other documents in connection with rezoning, conditional rezoning, special use permits, conditional use permits, special exceptions, zoning variances, building permits and/or any other permits related to proposed wireless communications facility, on the Property; and to modify or amend any documents in whole or in part relating to such applications, agreements and related documents.

I/we ratify all actions taken to date in connection with the zoning and/or permitting of the Property related to proposed wireless communications facility, on the Property.

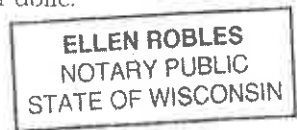
Anne Hairston-Strang
Owner:

Print Name Anne Hairston-Strang
Madison, W

~~Commonwealth of Virginia~~ City/County of Dane, to-wit:

Subscribed and sworn to before me this 20th day of July, 2023, in my City and State aforesaid, by Ellen Robles Notary Public.

My Commission Expires: 03/23/2024



SPECIAL POWER OF ATTORNEY

Property Description (Tax Map Number, Street Address or Common Description, Borough):

1981 Berry Hill Road, Danville, VA 24069

Tax Map # 1366-12-5894

I/we Sallie H. Miller, am/are:

 the applicant for the above-referenced application

X the owner(s) of the property described above

I/we do hereby make, constitute, and appoint Jonathan L. Yates, authorized agent of Crown Castle Towers 06-2 LLC, my/our true and lawful attorney-in-fact, and grant unto my/our attorney-in-fact full power and authority to make any and all applications and execute any related documents required in connection with all zoning and/or permitting matters related to proposed wireless communications facility, on the above described property (the "Property"), and to perform all acts and make all agreements as such person shall deem necessary or appropriate in regard to said zoning and/or permitting matters, including but not limited to the following authority: the authority to negotiate with localities; to sign and submit proffers that would constitute binding conditions on the Property; to agree to conditions and bind the Property with conditions, whether through proffers or other agreements; to sign and submit applications, agreements and/or other documents in connection with rezoning, conditional rezoning, special use permits, conditional use permits, special exceptions, zoning variances, building permits and/or any other permits related to proposed wireless communications facility, on the Property; and to modify or amend any documents in whole or in part relating to such applications, agreements and related documents.

I/we ratify all actions taken to date in connection with the zoning and/or permitting of the Property related to proposed wireless communications facility, on the Property.

Sallie H. Miller
Owner:

Print Name Sallie H. Miller

State of Maryland
Commonwealth of Virginia City/County of Queen Anne's Co, to-wit:

Subscribed and sworn to before me this 13th day of July, 2023, in my City and State aforesaid, by Andrea Van Horn Notary Public.

My Commission Expires: 5/4/2027

Andrea G Van Horn
NOTARY PUBLIC
Queen Anne's County, Maryland
My Commission Expires 5/4/2027

SPECIAL POWER OF ATTORNEY

Property Description (Tax Map Number, Street Address or Common Description, Borough):

5981 Berry Hill Road, Danville, VA 24069

Tax Map # 1366-12-5894

I/we Allen Hairston, am/are:

 the applicant for the above-referenced application

X the owner(s) of the property described above

I/we do hereby make, constitute, and appoint Jonathan L. Yates, authorized agent of Crown Castle Towers 06-2 LLC, my/our true and lawful attorney-in-fact, and grant unto my/our attorney-in-fact full power and authority to make any and all applications and execute any related documents required in connection with all zoning and/or permitting matters related to proposed wireless communications facility, on the above described property (the "Property"), and to perform all acts and make all agreements as such person shall deem necessary or appropriate in regard to said zoning and/or permitting matters, including but not limited to the following authority: the authority to negotiate with localities; to sign and submit proffers that would constitute binding conditions on the Property; to agree to conditions and bind the Property with conditions, whether through proffers or other agreements; to sign and submit applications, agreements and/or other documents in connection with rezoning, conditional rezoning, special use permits, conditional use permits, special exceptions, zoning variances, building permits and/or any other permits related to proposed wireless communications facility, on the Property; and to modify or amend any documents in whole or in part relating to such applications, agreements and related documents.

I/we ratify all actions taken to date in connection with the zoning and/or permitting of the Property related to proposed wireless communications facility, on the Property.

Allen Hairston
Owner:

Print Name Allen Hairston

Commonwealth of Virginia ^{VA} City/County of ESSEX, to-wit:
Subscribed and sworn to before me this 26 day of JULY, 2021, in my City and State
aforesaid, by JOSEPH F. BARBARA Notary Public.
My Commission Expires: FEB. 02 2029



SPECIAL POWER OF ATTORNEY

Property Description (Tax Map Number, Street Address or Common Description, Borough):

5981 Berry Hill Road, Danville, VA 24069

Tax Map # 1366-12-5894

I/we William H. Hairston, am/are:

 the applicant for the above-referenced application

X the owner(s) of the property described above

I/we do hereby make, constitute, and appoint Jonathan L. Yates, authorized agent of Crown Castle Towers 06-2 LLC, my/our true and lawful attorney-in-fact, and grant unto my/our attorney-in-fact full power and authority to make any and all applications and execute any related documents required in connection with all zoning and/or permitting matters related to proposed wireless communications facility, on the above described property (the "Property"), and to perform all acts and make all agreements as such person shall deem necessary or appropriate in regard to said zoning and/or permitting matters, including but not limited to the following authority: the authority to negotiate with localities; to sign and submit proffers that would constitute binding conditions on the Property; to agree to conditions and bind the Property with conditions, whether through proffers or other agreements; to sign and submit applications, agreements and/or other documents in connection with rezoning, conditional rezoning, special use permits, conditional use permits, special exceptions, zoning variances, building permits and/or any other permits related to proposed wireless communications facility, on the Property; and to modify or amend any documents in whole or in part relating to such applications, agreements and related documents.

I/we ratify all actions taken to date in connection with the zoning and/or permitting of the Property related to proposed wireless communications facility, on the Property.

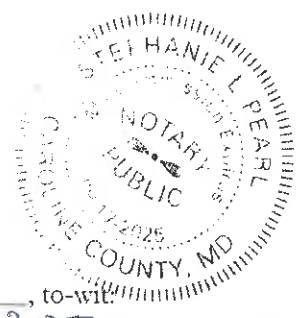
William H. Hairston
Owner:

Print Name William H. Hairston

Commonwealth of Virginia City/County of Caroline, to-wit:

Subscribed and sworn to before me this 17 day of July, 2017, in my City and State aforesaid, by Stephanie Pearl Notary Public.

My Commission Expires: 8-17-18
Stephanie Pearl



GPIN ACCOUNT HOLDER

1367-30-1931 DANVILLE-PITTSYLVANIA REGIONAL IND FACILITY AUTHORITY
1355-99-8016 APPLEFIELD FARMS

ACCOUNT ADDRESS

PO BOX 3300
7725 FRIENDSHIP CHURCH RD

ACCOUNT_CSZ

DANVILLE, VA 24543
BROWNS SUMMIT, NC 27214

S-23-015 ARCOLA TOWERS

HELLMAN YATES

ATTORNEYS AND COUNSELORS AT LAW

JONATHAN L. YATES
DIRECT VOICE 843 414-9754
JLY@HELLMANYATES.COM

HELLMAN & YATES, PA
145 KING STREET, SUITE 102
CHARLESTON, SOUTH CAROLINA 29401
T 843 266-9099
F 843 266-9188

August 28, 2023

VIA FEDERAL EXPRESS

Robin S. Vaughan
Community Development
53 North Main Street
Chatham, VA 24531
(434) 432-7750

Re: Application for construction of a 250-foot self-support wireless telecommunications facility to be located at 5981 Berry Hill Road, Danville, VA 24069 (Parcel ID: # 1366-12-5834) on behalf of Crown Castle for AT&T.

Dear Ms. Vaughan,

Crown Castle proposes to construct and operate a 250-foot self-support telecommunications facility to be located on the property of Waller S. Hairston, Allen Hairston, William H. Hairston, Anne Hairston Strang, and Sallie H. Miller, which is located at 5981 Berry Hill Road, Danville, VA 24069. The property consists of 289.47 acres and is in the M-1 zoning district. The proposed facility has been designed for AT&T and at least three additional broadband carriers.

The proposed self-support tower will have an overall structure height of 260 feet (250 foot self-support tower with a 9 foot lightning rod and one foot foundation). Crown Castle will have a lease area of 70.75 feet by 70.75 feet and Crown Castle will secure the 70.75 foot by 70.75 foot area with a eight foot chain link fence topped with three strands of barbed wire as an anti-climbing device for a total height of nine feet. Crown Castle will utilize the existing heavy and mature tree cover on the property to screen the ground equipment compound.

The proposed self-support style facility will be 296 ft. away from Berry Hill Road and meets all of the required setbacks of the M-1 district. The proposed self-support facility will have a galvanized steel finish. The proposed monopole style facility will be unmanned and will only be visited by AT&T technicians approximately once a month. The proposed self-support style facility will not emit any noise, odor, vibrations, fumes, or glare. The self-support style facility will be illuminated pursuant to FAA requirements.

In support of our application, we have provided the following: Site Plans and Drawings by Virginia Professional Engineer Christopher D. Morin attached hereto as Exhibit "1" and incorporated herein by reference; Site Survey by Virginia Land Surveyor G. Darrell Taylor attached hereto as Exhibit "2" and incorporated herein by reference; FAA Notice of Proposed Construction or Alteration Off-Airport and ASAC Site Specific Evaluation attached hereto as Exhibit "3" and incorporated herein by reference; Recorded Deed attached hereto as Exhibit "4" and incorporated herein by reference; Recorded Plat attached hereto as Exhibit "5" and incorporated herein by reference; and Letters of Authorization by Waller S. Hairston, Allen Hairston, William H. Hairston, Anne Hairston Strang, and Sallie H. Miller attached hereto as Exhibit "6" and incorporated herein by reference.

The proposed 250 ft. self-support style wireless facility will allow AT&T and at least three other users to provide necessary and essential wireless infrastructure to The Southern Virginia Mega Site at Berry Hill and the surrounding area. As the Mega Site is developed out, it is essential that effective wireless infrastructure is available for the users of the Mega Site. This will provide not only wireless voice and broadband, but also effective access to 911 first responders: Fire; Police; and EMS to the residents in this area. The closest tower is a American Tower 170 foot self support tower located 4 miles to the north.

The proposed 250 ft. self-support style wireless facility meets the criteria for a Special Use Permit and is consistent with the goals and objectives of the Pittsylvania County Zoning Ordinance and Comprehensive Plan. The proposed self-support facility is designed to support the Southern Virginia Mega Site at Berry Hill and the surrounding area. The proposed facility would benefit the general welfare of the citizens of Pittsylvania County by improving wireless communications and broadband infrastructure in compliance with all Pittsylvania County rules and regulations.

Upon review, please let us know if we can provide any additional information or materials in support of our application. I can be reached at (843) 414-9754 or (843) 813-0103.

Thank you so much for all your help with this.

With warmest regards, I am

Very truly yours,


Jonathan L. Yates

JLY:jlc
Enclosures

ARCHITECTURAL AND ENGINEERING FIRM

BC ARCHITECTS ENGINEERS, PLC
 5661 COLUMBIA PIKE, SUITE 200
 FALLS CHURCH, VA 22041-2868
 TEL: (703) 671-8000 CONTACT: BRIAN QUINN, AIA
 FAX: (703) 671-6300 PRINCIPAL
 EMAIL: bquinn@bcplc.com

COMPANY REGISTRATION NO.: S0495079

APPLICANT INFORMATION

CROWN CASTLE
 6325 ARDREY KELL ROAD, SUITE 600
 CHARLOTTE, NC 28277
 TEL: (877) 486-8377 CONTACT: BRYCE PICKENS
 PROJECT MANAGER
 TEL: (704) 405-6541
 EMAIL: bryce.pickens@crowncastle.com



**SITE NAME: BERRY HILL
 SITE ID: 831969**

**ADDRESS: 5981 BERRY HILL RD
 DANVILLE, VA 24069**

PROJECT TITLE

FINAL ZONING DRAWINGS FOR A 250' SELF SUPPORT TOWER

SITE INFORMATION

PARCEL IDENTIFICATION: 1366-12-5834
 PARCEL ADDRESS: 5981 BERRY HILL RD
 DANVILLE, VA 24069
 PROPERTY OWNER: WALLER S. HAIRSTON ET AL
 313 ELM AVENUE
 EASTON, MD 21601
 DEED REFERENCE: LR 17 PG 02739, MAP BK 44 PG 8K
 JURISDICTION: PITTSYLVANIA COUNTY
 ZONING CLASSIFICATION: M-1 (LIGHT INDUSTRY)
 LAND USE: FORESTED
 PARCEL SIZE: 289.47 AC
 TOWER HEIGHT & TYPE: 250' SELF SUPPORT TOWER
 GEOGRAPHIC COORDINATES:
 LATITUDE: 38° 33' 32.83" (NAD 83)
 LONGITUDE: -79° 35' 26.89" (NAD 83)
 1A GROUND ELEVATION: 580.8' AMSL (NAVD 88)
 CODES: 2018 VIRGINIA UNIFORM STATEWIDE BUILDING
 CODE, NEC 2014
 EMERGENCY INFO:
 JURISDICTION: PITTSYLVANIA COUNTY
 LOCAL FIRE & RESCUE: (434) 685-3820
 LOCAL POLICE: (434) 799-5111
 BUILDING OFFICIAL CONTACT:
 NAME: JASON INMAN
 ADDRESS: 53 NORTH MAIN STREET
 CHATHAM, VA 24531
 PHONE NO.: (434) 432-7700

DRAWING INDEX

SHEET NUMBER	DESCRIPTION
T-1	TITLE SHEET
3 SHEETS	SURVEY
A-0	PROPOSED SITE PLAN
A-0A	ENLARGED PROPOSED SITE PLAN
A-1	PROPOSED COMPOUND PLAN
A-2	PROPOSED TOWER ELEVATION
A-3	FENCE & GATE DETAILS
A-4	SITE SIGNAGE SPECS
C-1	CIVIL DETAILS
G-1	SITE GRADING, E&S CONTROL PLAN
G-2	ACCESS ROAD PROFILE
G-3	SILT FENCE DETAIL & NOTES
G-4	E&S DETAIL & NOTES
G-5	TREE PROTECTION DETAILS & NOTES
G-6	MULCHING NOTES
G-7	TEMPORARY SEEDING NOTES
G-8A TO C	PERMANENT SEEDING NOTES
G-9	SOIL MAP
G-10	FEMA FLOOD MAP
G-11	NWI WETLANDS MAP
G-12	E&S CONTROL NARRATIVE & NOTES
G-13	MINIMUM STANDARDS (MS) CHECKLIST
SP-1	GENERAL NOTES

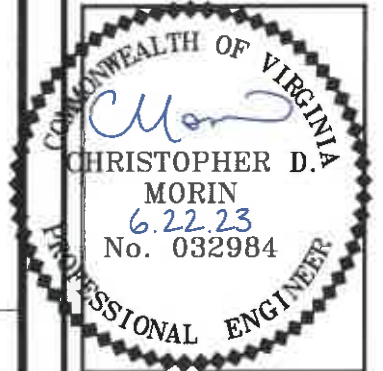
STARTING FROM PITTSYLVANIA COUNTY PERMITTING OFFICE AT 53 N MAIN ST., CHATHAM, VA 24531:

- DEPART AND HEAD TOWARD BANK ST 190 FT
- TURN RIGHT ONTO BANK ST 443 FT
- TURN LEFT ONTO US-29 S BUS/S MAIN ST 1.5 MI
- BEAR RIGHT ONTO US-29 S/US HIGHWAY 29 6.1 MI
- TURN RIGHT ONTO R AND L SMITH DR 3.7 MI
- TURN LEFT ONTO VA-41/FRANKLIN TPKE, THEN IMMEDIATELY TURN RIGHT ONTO ROBERTSON LN 1.2 MI
- BEAR RIGHT ONTO GOLF CLUB RD 0.7 MI
- TURN RIGHT ONTO LANIERS MILL RD 3.3 MI
- ROAD NAME CHANGES TO MOOREFIELD BRIDGE RD 3.0 MI
- TURN RIGHT ONTO VA-51/WESTOVER DR 0.4 MI
- CONTINUE ON US-58 W BUS/MARTINSVILLE HWY 0.3 MI
- KEEP LEFT TO STAY ON US-58 W BUS/MARTINSVILLE HWY 0.1 MI
- TURN LEFT ONTO US-311 S/BERRY HILL RD 49 FT
- KEEP STRAIGHT TO GET ONTO US-311 S/BERRY HILL RD 5.0 MI
- ARRIVE AT US-311 S/BERRY HILL RD
- SITE IS ON THE LEFT

SITE DIRECTIONS



VICINITY MAP



NO.	DATE	DESCRIPTION	BY	AGT	AGT	AGT	AGT
A	06-02-23	PRELIMINARY ZONING DRAWINGS					
B	06-13-23	PRELIMINARY ZONING DRAWINGS					
C	06-15-23	PRELIMINARY ZONING DRAWINGS					
D	06-21-23	PRELIMINARY ZONING DRAWINGS					
E	06-22-23	FINAL ZONING DRAWINGS					

DRAWN BY: AGT
 CHECKED BY: BMQ
 DRAWING DATE: 06/22/23

CARRIER'S NAME

SITE NUMBER:

SITE NAME:

SITE NAME

BERRY HILL

BUSINESS UNIT NUMBER

831969

SITE ADDRESS

5981 BERRY HILL ROAD
 DANVILLE, VA 24069

SHEET TITLE

TITLE SHEET

SHEET NUMBER

GPS NOTES

THE FOLLOWING GPS STATISTICS UPON WHICH THIS SURVEY IS BASED HAVE BEEN PRODUCED AT THE 95% CONFIDENCE LEVEL:
 POSITIONAL ACCURACY: 0.12 FEET (HORZ) 0.42 FEET (VERT)
 TYPE OF EQUIPMENT: GEOMAX ZENITH35 PRO BASE AND ROVER DUAL FREQUENCY
 TYPE OF GPS FIELD PROCEDURE: ONLINE POSITION USER INTERFACE
 DATE OF SURVEY: 5/4/2023
 DATUM / EPOCH: NAD 83(2011)(EPOCH:2010.0000)
 PUBLISHED / FIXED CONTROL USE: N/A
 GEOID MODEL: 18
 COMBINED GRID FACTOR(S): 1.00002147 CENTERED ON THE GPS BASE POINT AS SHOWN HEREON.
 CONVERGENCE ANGLE: -0.66270556"
 BENCHMARKS USED: DM3525, DL1894, DM3527

PARENT PARCEL

OWNER: WALLER S. HAIRSTON ET AL.
 SITE ADDRESS: 5981 BERRY HILL ROAD, DANVILLE, VA 24541
 PARCEL ID: 1366-12-5834
 AREA: 289.47 ACRES (PER TAX ASSESSOR)
 ZONING: M - 1
 ALL ZONING INFORMATION SHOULD BE VERIFIED WITH THE PROPER ZONING OFFICIALS

- REFERENCES:
 1. DEED BOOK 17 PAGE 2739
 2. MAP BOOK 44 PAGE 8K



POC: IPF 3/4" RB
 N=3363080.8279
 E=11160252.8614

IPF 3/4" RB

IPF 3/4" RB

N/F DANVILLE-PITTSYLVANIA REGIONAL INDUSTRIAL FACILITY AUTHORITY
 PARCEL #: 1356-82-6276
 DB 8 PG 7039
 MB 44 PG 232J
 ZONED M - 2

N/F DANVILLE-PITTSYLVANIA REGIONAL INDUSTRIAL FACILITY AUTHORITY
 PARCEL #: 1356-80-4414
 DB 8 PG 7039
 MB 44 PG 232J
 ZONED M - 2

LEGEND

PDB	POINT OF BEGINNING
POC	POINT OF COMMENCEMENT
IPS	IRON PIN SET
IPF	IRON PIN FOUND
CMF	CONCRETE MONUMENT FOUND
CRB	CAPPED REBAR
RB	REBAR
RCP	REINFORCED CONCRETE PIPE
INV	INVERT
FH	FIRE HYDRANT
EP	EDGE OF PAVEMENT
CD	WATER VALVE
WV	SEWER CLEAN OUT
N/F	NOW OR FORMERLY
R/W	RIGHT-OF-WAY

N/F DANVILLE-PITTSYLVANIA REGIONAL INDUSTRIAL FACILITY AUTHORITY
 PARCEL #: 1367-30-1931
 DB LR09 PG 04564
 ZONED M - 2

N/F DANVILLE-PITTSYLVANIA REGIONAL INDUSTRIAL FACILITY AUTHORITY
 PARCEL #: 1366-54-5996
 DB 8 PG 7039
 MB 44 PG 232K
 ZONED M - 2

N/F PARENT PARCEL
 WALLER S. HAIRSTON ET AL.
 PARCEL #: 1366-12-5834
 DB 17 PG 02739
 MB 44 PG 8K
 ZONED M - 1

APPROXIMATE LIMIT OF FLOOD ZONE 'X' (SHADED) AS SCALED FROM FIRM PANEL 51143C0615E

APPROXIMATE LOCATION OF TIMBER AGREEMENT RESERVE AREA (DB 1491 PG 294)

APPROXIMATE LIMIT OF FLOOD ZONE 'AE' AS SCALED FROM FIRM PANEL 51143C0615E

NORFOLK SOUTHERN CORPORATION, DANVILLE & WESTERN RAILWAY
 (MB 44 PG 8K)

STATE ROAD 863
 60' RIGHT-OF-WAY (MB 44 PG 8K)

PROPOSED LEASE AREA
 (SEE SHEET 2 FOR DETAIL)
 PROPOSED 30' ACCESS & UTILITY EASEMENT
 (SEE SHEET 2 FOR DETAIL)



VICINITY MAP
 NOT TO SCALE
GENERAL NOTES

* THIS SPECIFIC PURPOSE SURVEY IS FOR THE LEASED PREMISES AND EASEMENTS ONLY. THIS SPECIFIC PURPOSE SURVEY WAS PREPARED FOR THE EXCLUSIVE USE OF CROWN CASTLE AND EXCLUSIVELY FOR THE TRANSFERRAL OF THE LEASED PREMISES AND THE RIGHTS OF EASEMENT SHOWN HEREON AND SHALL NOT BE USED AS AN EXHIBIT OR EVIDENCE IN THE FEE SIMPLE TRANSFERRAL OF THE PARENT PARCEL NOR ANY PORTION OR PORTIONS THEREOF. BOUNDARY INFORMATION SHOWN HEREON HAS BEEN COMPILED FROM TAX MAPS AND DEED DESCRIPTIONS ONLY. NO BOUNDARY SURVEY OF THE PARENT PARCEL WAS PERFORMED.

THIS DRAWING DOES NOT REPRESENT A BOUNDARY SURVEY.
 EQUIPMENT USED FOR ANGULAR & LINEAR MEASUREMENTS: GEOMAX ZOOM ROBOTIC AND/OR LEICA TS12 [DATE OF LAST FIELD VISIT: 5/4/2023]. SEE GPS NOTES FOR GPS EQUIPMENT.

THE 1' CONTOURS AND SPOT ELEVATIONS SHOWN ON THIS SPECIFIC PURPOSE SURVEY ARE ADJUSTED TO NAVD 88 DATUM (COMPUTED USING GEOID18) AND HAVE A VERTICAL ACCURACY OF ± 0.5'. CONTOURS OUTSIDE THE IMMEDIATE SITE AREA ARE APPROXIMATE.

BEARINGS SHOWN ON THIS SPECIFIC PURPOSE SURVEY ARE BASED ON VIRGINIA GRID NORTH (NAD 83) SOUTH ZONE.

PER THE FEMA FLOODPLAIN MAPS, THE SITE IS LOCATED IN AN AREA DESIGNATED AS ZONE X (AREA OF MINIMAL FLOOD HAZARD). COMMUNITY PANEL NO. : 51143C0615E DATED: 9/29/2010

NO WETLAND AREAS HAVE BEEN INVESTIGATED BY THIS SPECIFIC PURPOSE SURVEY.

ALL ZONING INFORMATION SHOULD BE VERIFIED WITH THE PROPER ZONING OFFICIALS.

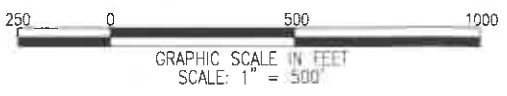
ANY UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM ABOVE GROUND FIELD SURVEY INFORMATION. THE SURVEYOR MAKES NO GUARANTEES THAT ANY UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT ANY UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED ANY UNDERGROUND UTILITIES.

SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THAT THIS MAP IS CORRECT AND THAT ANY VISIBLE ENCROACHMENTS ARE SHOWN HEREON.

G. DARRELL TAYLOR, PLS 5/25/2023
 DATE

THIS MAP IS NOT A CERTIFIED SURVEY AND HAS NOT BEEN REVIEWED BY A LOCAL GOVERNMENT AGENCY FOR COMPLIANCE WITH ANY APPLICABLE LAND DEVELOPMENT REGULATIONS. THIS MAP IS ONLY INTENDED FOR THE PARTIES AND PURPOSES SHOWN. THIS MAP IS NOT FOR RECORDATION.



Know what's below.
 Call before you dig.

SURVEY NOT VALID WITHOUT SHEET 2 & 3 OF



NO.	DATE	REVISION
1	6/1/23	20' LANDSCAPE ESMT.

SPECIFIC PURPOSE SURVEY PREPARED BY:

POINT TO POINT LAND SURVEYORS
 100 Governors Trace, Ste. 103
 Peachtree City, GA 30269
 (p) 678.565.4440
 (f) 678.565.4497
 (w) pointtopointsurvey.com



SPECIFIC PURPOSE SURVEY PREPARED FOR:

CROWN CASTLE
 6325 ARDREY KELL ROAD, SUITE 600
 CHARLOTTE, NC 28277

BERRY HILL
 BU #: 831969

5981 BERRY HILL ROAD
 DANVILLE, VA 24541
 PITTSYLVANIA COUNTY, VIRGINIA

DRAWN BY: RJH	SHEET: 1
CHECKED BY: JKL	OF 3
APPROVED: D. MILLER	
DATE: MAY 25, 2023	
P2P JOB #: 230512VA	



UTILITY NOTE

NO UTILITY LOCATE WAS PERFORMED. UTILITIES SHOWN HEREON ARE BASED ON FIELD LOCATED PAINT MARKS & UTILITIES SHOWN ON VDOT UPC 119164 BERRY HILL RD (RTE 311) CONNECTOR EXTENSION PLANS DATED 12/15/2022.



NO.	DATE	REVISION
1	6/1/23	20' LANDSCAPE ESMT.

APPROXIMATE LOCATION OF UNDERGROUND WATER LINE

APPROXIMATE LOCATION OF UNDERGROUND TELECOM LINE

TREE LINE

STATE ROAD 863
60' RIGHT-OF-WAY
(MB 44 PG 8K)

C/L DITC

APPROXIMATE LOCATION OF SEWER FORCE MAIN

PROPOSED 30' ACCESS & UTILITY EASEMENT
8,945 S.F.
0.2054 ACRES

PROPOSED 20' LANDSCAPE EASEMENT
6,600 S.F.
0.1529 ACRES

PROPOSED LEASE AREA
5,006 S.F.
0.1149 ACRES

PROPOSED TOWER

LINE TABLE

LINE	BEARING	DISTANCE
L1	N52°13'46"W	20.00'
L2	S37°46'14"W	35.38'
L3	N52°13'46"W	30.00'
L4	N37°46'14"E	35.38'
L5	S37°46'14"W	30.00'
L6	S37°46'14"W	20.38'
L7	S52°13'46"E	70.75'
L8	N37°46'14"E	70.75'
L9	N52°13'46"W	70.75'
L10	S37°46'14"W	20.38'
L11	N52°13'46"W	20.00'
L12	N37°46'14"E	40.38'
L13	S52°13'46"E	110.75'
L14	S37°46'14"W	110.75'
L15	N52°13'46"W	110.75'
L16	N37°46'14"E	40.38'
L17	S52°13'46"E	20.00'

CURVE TABLE

LINE	ARC	CHD. BRG.	RADIUS	CHD.
C1	30.63'	N38°58'35"E	5699.58'	30.63'

LEGEND

POB	POINT OF BEGINNING
PDC	POINT OF COMMENCEMENT
IPS	IRON PIN SET
IPF	IRON PIN FOUND
CMF	CONCRETE MONUMENT FOUND
CRB	CAPPED REBAR
RB	REBAR
RCP	REINFORCED CONCRETE PIPE
INV	INVERT
FH	FIRE HYDRANT
EP	EDGE OF PAVEMENT
CO	WATER VALVE
WV	SEWER CLEAN OUT
NW/	NOW OR FORMERLY
R/W	RIGHT-OF-WAY



SITE INFORMATION

PROPOSED LEASE AREA = 5,006 SQUARE FEET (0.1149 ACRES)
 LATITUDE = 36°33'32.83" (NAD 83) (36.559119°)
 LONGITUDE = -79°35'26.89" (NAD 83) (-79.590803°)
 AT CENTER OF PROPOSED LEASE AREA
 ELEVATION AT CENTER OF PROPOSED LEASE AREA = 580.8' A.M.S.L.

* SPECIFIC PURPOSE SURVEY PREPARED BY:

POINT TO POINT LAND SURVEYORS
 100 Governors Trace, Ste. 103
 Peachtree City, GA 30269
 (p) 678.565.4440
 (f) 678.565.4497
 (w) pointpointsurvey.com



SPECIFIC PURPOSE SURVEY PREPARED FOR:

CROWN CASTLE
 6325 ARDREY KELL ROAD, SUITE 600
 CHARLOTTE, NC 28277

BERRY HILL
 BU #: 831969

5981 BERRY HILL ROAD
 DANVILLE, VA 24541
 PITTSYLVANIA COUNTY, VIRGINIA

DRAWN BY: RJH
 CHECKED BY: JKL
 APPROVED: D. MILLER
 DATE: MAY 25, 2023
 P2P JOB #: 230512VA

SHEET:
2
 OF 3

SURVEY NOT VALID WITHOUT SHEET 1 & 3 OF 3

LEGAL DESCRIPTION SHEET

PARENT PARCEL (PER TITLE FILE NO. CCI-140998-0)

THEREON AND APPURTENANCES THEREUNTO BELONGING, SITUATE IN PITTSYLVANIA COUNTY, VIRGINIA, AND IN HENRY COUNTY, VIRGINIA, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

PARCEL NO. 1: SITUATE IN PITTSYLVANIA COUNTY, VIRGINIA, AND BEING ALL OF THAT CERTAIN TRACT OR PARCEL OF LAND, CONTAINING 289.474 ACRES, MORE OR LESS, LYING SOUTH OF STATE ROUTE 862, AS SHOWN ON SHEET 2 OF 2 OF THE PLAT OF SURVEY FOR WALLER S. & ELEANOR B. HAIRSTON, KAREN LOUISE SHOFFNER, DIANA J. ROMAN, JANET T. HAIRSTON AND WILLIAM H. HAIRSTON SHOWING TWO TRACTS KNOWN AS "THE HARRISON PLACE" & "OAK HILL," LYING ALONG ST. RT. 862 & ST. RT. 863, MADE BY SHANKS ASSOCIATES, P.C., ENGINEERS-SURVEYORS-PLANNERS, DATED FEBRUARY 16, 2005, RECORDED IN THE CLERK'S OFFICE OF THE CIRCUIT COURT OF PITTSYLVANIA COUNTY, VIRGINIA, IN MAP BOOK 44, AT PAGE 8J.

PARCEL ID NO.: 1366-12-5834

THIS BEING A PORTION OF THE SAME PROPERTY CONVEYED TO WALLER S. HAIRSTON, AS TO LIFE ESTATE INTEREST, ALLEN WALLER HAIRSTON, WILLIAM HUNT HAIRSTON, ANNE BARTLETT HAIRSTON-STRANG, AND SALLIE HAIRSTON MILLER, IN EQUAL SHARES AS TENANTS IN COMMON, THE REMAINDER, FROM WALLER S. HAIRSTON, WIDOWER, ALLEN WALLER HAIRSTON, WILLIAM HUNT HAIRSTON, ANNE BARTLETT HAIRSTON-STRANG, AND SALLIE HAIRSTON MILLER IN A DEED OF GIFT DATED JANUARY 3, 2017 AND RECORDED MAY 12, 2017 AS INSTRUMENT NO. 17- 02739 IN PITTSYLVANIA COUNTY, VIRGINIA.

PROPOSED LEASE AREA

ALL THAT TRACT OR PARCEL OF LAND LYING AND BEING IN PITTSYLVANIA COUNTY, VIRGINIA, AND BEING A PORTION OF THE LANDS OF WALLER S. HAIRSTON ET AL., AS RECORDED IN DEED BOOK 17 PAGE 2739, PITTSYLVANIA COUNTY RECORDS AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

TO FIND THE POINT OF BEGINNING, COMMENCE AT A 3/4-INCH REBAR FOUND ON THE WESTERN LINE OF SAID HAIRSTON LANDS, SAID REBAR HAVING A VIRGINIA GRID NORTH, NAD83, SOUTH ZONE VALUE OF N=3363080.8279 E=11160252.8618; THENCE LEAVING THE LINE OF SAID LANDS AND RUNNING, NORTH 52°21'58" EAST, 2883.60 FEET TO A POINT AND THE TRUE POINT OF BEGINNING; THENCE RUNNING, NORTH 52°13'46" WEST, 70.75 FEET TO A POINT; THENCE, NORTH 37°46'14" EAST, 70.75 FEET TO A POINT; THENCE, SOUTH 52°13'46" EAST, 70.75 FEET TO A POINT; THENCE, SOUTH 37°46'14" WEST, 70.75 FEET TO A POINT AND THE POINT OF BEGINNING.

BEARINGS BASED ON VIRGINIA GRID NORTH (NAD83) SOUTH ZONE.

SAID TRACT CONTAINS 0.1149 ACRES (5,006 SQUARE FEET), MORE OR LESS.

PROPOSED 20' LANDSCAPE EASEMENT

TOGETHER WITH A 20' LANDSCAPE EASEMENT LYING AND BEING IN PITTSYLVANIA COUNTY, VIRGINIA, AND BEING A PORTION OF THE LANDS OF WALLER S. HAIRSTON ET AL., AS RECORDED IN DEED BOOK 17 PAGE 2739, PITTSYLVANIA COUNTY RECORDS AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

TO FIND THE POINT OF BEGINNING, COMMENCE AT A 3/4-INCH REBAR FOUND ON THE WESTERN LINE OF SAID HAIRSTON LANDS, SAID REBAR HAVING A VIRGINIA GRID NORTH, NAD83, SOUTH ZONE VALUE OF N=3363080.8279 E=11160252.8618; THENCE LEAVING THE LINE OF SAID LANDS AND RUNNING, NORTH 52°21'58" EAST, 2883.60 FEET TO A POINT ON THE LEASE AREA; THENCE RUNNING ALONG SAID LEASE AREA, NORTH 52°13'46" WEST, 70.75 FEET TO A POINT; THENCE, NORTH 37°46'14" EAST, 20.38 FEET TO A POINT AND THE TRUE POINT OF BEGINNING; THENCE RUNNING WITH SAID LEASE AREA, SOUTH 37°46'14" WEST, 20.38 FEET TO A POINT; THENCE, SOUTH 52°13'46" EAST, 70.75 FEET TO A POINT; THENCE, NORTH 37°46'14" WEST, 70.75 FEET TO A POINT; THENCE, NORTH 52°13'46" WEST, 70.75 FEET TO A POINT; THENCE, SOUTH 37°46'14" WEST, 20.38 FEET TO A POINT LOCATED ON THE ACCESS AND UTILITY EASEMENT; THENCE LEAVING SAID LEASE AREA AND RUNNING WITH SAID ACCESS AND UTILITY EASEMENT, NORTH 52°13'46" WEST, 20.00 FEET TO A POINT; THENCE LEAVING SAID ACCESS AND UTILITY EASEMENT AND RUNNING, NORTH 37°46'14" EAST, 40.38 FEET TO A POINT; THENCE, SOUTH 52°13'46" EAST, 110.75 FEET TO A POINT; THENCE, SOUTH 37°46'14" WEST, 110.75 FEET TO A POINT; THENCE, NORTH 52°13'46" WEST, 110.75 FEET TO A POINT; THENCE, NORTH 37°46'14" EAST, 40.38 FEET TO A POINT LOCATED ON THE AFORESAID ACCESS AND UTILITY EASEMENT; THENCE RUNNING WITH SAID EASEMENT, SOUTH 52°13'46" EAST, 20.00 FEET TO A POINT AND THE TRUE POINT OF BEGINNING.

BEARINGS BASED ON VIRGINIA GRID NORTH (NAD83) SOUTH ZONE.

SAID EASEMENT CONTAINS 0.1529 ACRES (6,600 SQUARE FEET), MORE OR LESS.

PROPOSED 30' ACCESS & UTILITY EASEMENT

TOGETHER WITH A 30-FOOT ACCESS & UTILITY EASEMENT LYING AND BEING IN PITTSYLVANIA COUNTY, VIRGINIA, AND BEING A PORTION OF THE LANDS OF WALLER S. HAIRSTON ET AL., AS RECORDED IN DEED BOOK 17 PAGE 2739, PITTSYLVANIA COUNTY RECORDS AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

TO FIND THE POINT OF BEGINNING, COMMENCE AT A 3/4-INCH REBAR FOUND ON THE WESTERN LINE OF SAID HAIRSTON LANDS, SAID REBAR HAVING A VIRGINIA GRID NORTH, NAD83, SOUTH ZONE VALUE OF N=3363080.8279 E=11160252.8618; THENCE LEAVING THE LINE OF SAID LANDS AND RUNNING, NORTH 52°21'58" EAST, 2883.60 FEET TO A POINT ON THE LEASE AREA; THENCE RUNNING ALONG SAID LEASE AREA, NORTH 52°13'46" WEST, 70.75 FEET TO A POINT; THENCE, NORTH 37°46'14" EAST, 20.38 FEET TO A POINT AND THE TRUE POINT OF BEGINNING; THENCE LEAVING SAID LEASE AREA AND RUNNING, NORTH 52°13'46" WEST, 20.00 FEET TO A POINT; THENCE, SOUTH 37°46'14" WEST, 35.38 FEET TO A POINT; THENCE, NORTH 52°13'46" WEST, 30.00 FEET TO A POINT; THENCE, NORTH 37°46'14" EAST, 35.38 FEET TO A POINT; THENCE, NORTH 52°13'46" WEST, 122.55 FEET TO A POINT; THENCE NORTH 62°37'12" WEST 90.59 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF STATE ROAD 863; THENCE RUNNING ALONG SAID RIGHT-OF-WAY LINE, 30.63 FEET ALONG THE ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 5699.58 FEET AND BEING SCRIBED BY A CHORD BEARING, NORTH 38°58'35" EAST, 30.63 FEET TO A POINT; THENCE LEAVING SAID RIGHT-OF-WAY LINE AND RUNNING, SOUTH 62°37'12" EAST 87.16 FEET TO A POINT; THENCE SOUTH 52°13'46" EAST, 175.28 FEET TO A POINT; THENCE, SOUTH 37°46'14" WEST, 30.00 FEET TO A POINT AND THE POINT OF BEGINNING.

BEARINGS BASED ON VIRGINIA GRID NORTH (NAD83) SOUTH ZONE.

SAID EASEMENT CONTAINS 0.2054 ACRES (8,945 SQUARE FEET), MORE OR LESS.

TITLE EXCEPTIONS

THIS SURVEY WAS COMPLETED WITH THE AID OF TITLE WORK PREPARED BY TOWER TITLE AND CLOSING, EFFECTIVE DATE OF 10/5/2022, BEING TITLE FILE NO. CCI-140998-0, FOR THE PARENT PARCEL, TO DETERMINE THE IMPACTS OF EXISTING TITLE EXCEPTIONS:

9. RIGHT OF WAY AND EASEMENT AGREEMENT BETWEEN WALLER S. HAIRSTON, ELEANOR B. HAIRSTON, WILLIAM H. HAIRSTON BY WALLER S. HAIRSTON ; AND VVYX OF VIRGINIA, INC., A VIRGINIA PUBLIC SERVICE CORPORATION, DATED AUGUST 11, 1997 AND RECORDED AUGUST 18, 1997 IN (BOOK) 1088 (PAGE) 339 (INSTRUMENT) 97-07037, IN PITTSYLVANIA COUNTY, VIRGINIA.

[THIS ITEM IS APPLICABLE TO THE PARENT PARCEL HOWEVER IT IS NOT PLOTTED HEREON BECAUSE ITS DESCRIPTION IS TOO VAGUE TO BE PLOTTED AND THEREFORE WE ARE NOT ABLE TO ASCERTAIN THE EXACT LOCATION THEREOF.]

10. TIMBER DEED BETWEEN WALLER S. HAIRSTON AND ELEANOR B. HAIRSTON, HIS WIFE, AND DANA JOHNSON ROMAN (BEING ONE AND THE SAME PERSON AS DIANA ELIZABETH ROMAN) AND WEYERHAEUSER, A STATE OF WASHINGTON CORPORATION, DATED DECEMBER 4, 2001 AND RECORDED JANUARY 2, 2002 IN (BOOK) 1279 (PAGE) 679 (INSTRUMENT) 02-00057, IN PITTSYLVANIA COUNTY, VIRGINIA.

AFFECTED BY A(N) EXTENSION AND DURATION OF TIMBER DEED AND AGREEMENT BETWEEN WALLER S. HAIRSTON AND ELEANOR B. HAIRSTON, HIS WIFE, AND DANA JOHNSON ROMAN (BEING ONE AND THE SAME PERSON AS DIANA ELIZABETH ROMAN) AND WEYERHAEUSER, A STATE OF WASHINGTON CORPORATION, DATED OCTOBER 7, 2003 AND RECORDED OCTOBER 3, 2003 IN (BOOK) 1405 (PAGE) 692 (INSTRUMENT) 03-11436, IN PITTSYLVANIA COUNTY, VIRGINIA.

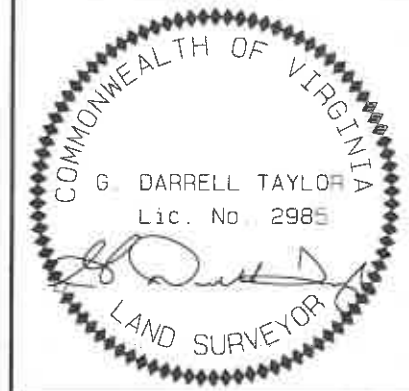
[THIS ITEM IS NOT APPLICABLE TO THE PARENT PARCEL BECAUSE IT IS LOCATED ON AN ADJACENT PROPERTY.]

11. TIMBER SALE CONTRACT BETWEEN WALLER S. HAIRSTON, ELEANOR B. HAIRSTON, JANE T. HAIRSTON, WILLIAM H. HAIRSTON, KAREN L. SHOFFNER, AND DIANA ROMAN AND MEADWESTVACO CORPORATION, DATED MARCH 24, 2005 AND RECORDED APRIL 20, 2005 IN (BOOK) 1491 (PAGE) 294 (INSTRUMENT) 05- 03431, IN PITTSYLVANIA COUNTY, VIRGINIA.

[THIS ITEM IS APPLICABLE TO THE PARENT PARCEL, PROPOSED LEASE AREA, & PROPOSED ACCESS & UTILITY EASEMENT AND ITS APPROXIMATE LOCATION IS PLOTTED HEREON.]

12. TIMBER DEED BETWEEN WALLER S. HAIRSTON AND ELEANOR B. HAIRSTON, HIS WIFE, AND WILLIAM H. HAIRSTON AND JANE T. HAIRSTON AND KAREN LOUISE SHOFFNER AND DIANA JOHNSON ROMAN AND WEYERHAEUSER, A STATE OF WASHINGTON CORPORATION, DATED MAY 22, 2009 AND RECORDED JUNE 11, 2009 IN (PAGE) 0049 (INSTRUMENT) 09-03365, IN PITTSYLVANIA COUNTY, VIRGINIA.

[THIS ITEM IS NOT APPLICABLE TO THE PARENT PARCEL BECAUSE IT IS LOCATED ON AN ADJACENT PROPERTY.]



NO.	DATE	REVISION
1	6/1/23	20' LANDSCAPE ESMT.

* SPECIFIC PURPOSE SURVEY PREPARED BY:

**POINT TO POINT
LAND SURVEYORS**
100 Governors Trace, Ste. 103
Peachtree City, GA 30269
(p) 678.565.4440
(f) 678.565.4497
(w) pointtopointsurvey.com



SPECIFIC PURPOSE SURVEY PREPARED FOR:



6325 ARDREY KELL ROAD, SUITE 600
CHARLOTTE, NC 28277

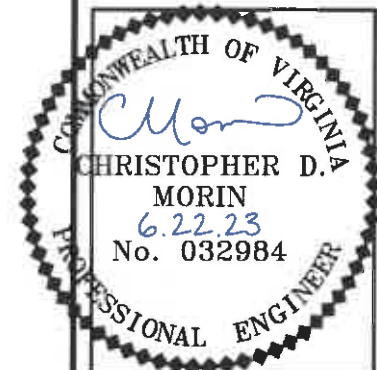
**BERRY HILL
BU #: 831969**

5981 BERRY HILL ROAD
DANVILLE, VA 24541
PITTSYLVANIA COUNTY, VIRGINIA

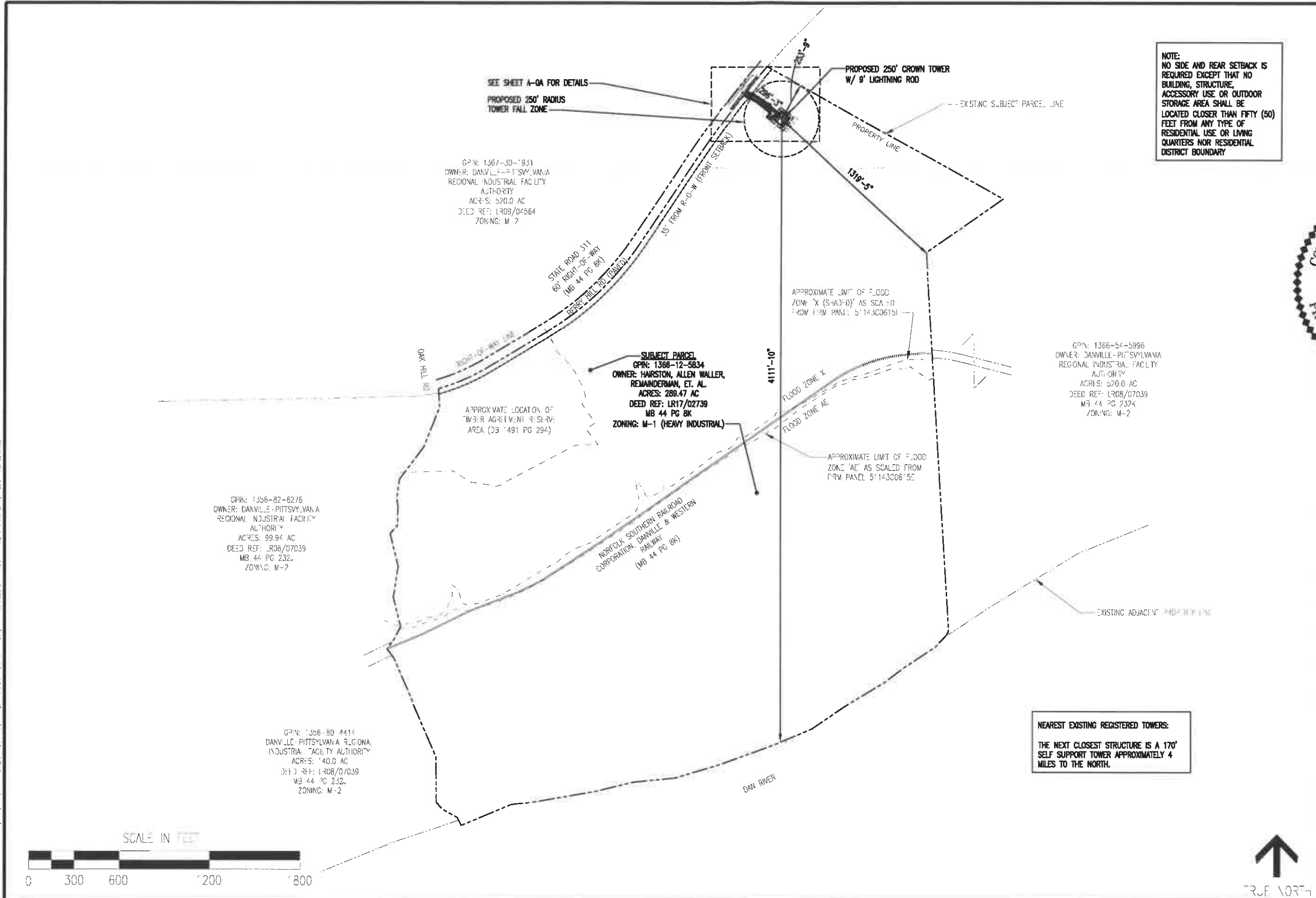
DRAWN BY: RJH	SHEET:
CHECKED BY: JKL	3
APPROVED: D. MILLER	OF 3
DATE: MAY 25, 2023	
P2P JOB #: 230512VA	

SURVEY NOT VALID WITHOUT SHEETS 1 & 2 OF 3

E:\Dropbox (Point To Point)\P2P Current Jobs\2023\230512VA-Berry Hill\230521VA.ppt



NOTE:
NO SIDE AND REAR SETBACK IS REQUIRED EXCEPT THAT NO BUILDING, STRUCTURE, ACCESSORY USE OR OUTDOOR STORAGE AREA SHALL BE LOCATED CLOSER THAN FIFTY (50) FEET FROM ANY TYPE OF RESIDENTIAL USE OR LIVING QUARTERS NOR RESIDENTIAL DISTRICT BOUNDARY



SEE SHEET A-0A FOR DETAILS
PROPOSED 250' RADIUS TOWER FALL ZONE

PROPOSED 250' CROWN TOWER W/ 9' LIGHTNING ROD

G.P.N: 1367-30-1951
OWNER: DANVILLE-PIITTSYLVANIA REGIONAL INDUSTRIAL FACILITY AUTHORITY
ACRES: 520.0 AC
DEED REF: LR08/04564
ZONING: M-2

STATE ROAD 311
60' RIGHT-OF-WAY (MB 44 PG 8K)
BERRY HILL RD (DANVILLE)

APPROXIMATE LIMIT OF FLOOD ZONE 'X' (SHAD-D) AS SCALED FROM FIRW PANEL 5114-3C06151

SUBJECT PARCEL
G.P.N: 1368-12-5834
OWNER: HAIRSTON, ALLEN WALLER, REMANDERMAN, ET. AL.
ACRES: 289.47 AC
DEED REF: LR17/02739
MB 44 PG 8K
ZONING: M-1 (HEAVY INDUSTRIAL)

APPROXIMATE LOCATION OF TIMBER AGRICULTURAL RESERVE AREA (D3 1491 PG 294)

G.P.N: 1366-54-5996
OWNER: DANVILLE-PIITTSYLVANIA REGIONAL INDUSTRIAL FACILITY AUTHORITY
ACRES: 520.0 AC
DEED REF: LR08/07039
MB 44 PG 232A
ZONING: M-2

APPROXIMATE LIMIT OF FLOOD ZONE 'AE' AS SCALED FROM FIRW PANEL 5114-3C06152

G.P.N: 1356-82-6276
OWNER: DANVILLE-PIITTSYLVANIA REGIONAL INDUSTRIAL FACILITY AUTHORITY
ACRES: 99.94 AC
DEED REF: LR06/07039
MB 44 PG 232A
ZONING: M-2

NORFOLK SOUTHERN RAILROAD CORPORATION, DANVILLE & WESTERN RAILWAY (MB 44 PG 8K)

G.P.N: 1356-80-4414
DANVILLE-PIITTSYLVANIA REGIONAL INDUSTRIAL FACILITY AUTHORITY
ACRES: 140.0 AC
DEED REF: LR08/07039
MB 44 PG 232A
ZONING: M-2

NEAREST EXISTING REGISTERED TOWERS:
THE NEXT CLOSEST STRUCTURE IS A 170' SELF SUPPORT TOWER APPROXIMATELY 4 MILES TO THE NORTH.

NO.	DATE	DESCRIPTION	BY	AGT	AGT	AGT	AGT	AGT
A	06-02-23	PRELIMINARY ZONING DRAWINGS						
B	06-13-23	PRELIMINARY ZONING DRAWINGS						
C	06-15-23	PRELIMINARY ZONING DRAWINGS						
D	06-21-23	PRELIMINARY ZONING DRAWINGS						
E	06-22-23	FINAL ZONING DRAWINGS						

DRAWN BY: AGT
CHECKED BY: BMQ
DRAWING DATE: 06/22/23

CARRIER'S NAME

SITE NUMBER:
SITE NAME:

SITE NAME

BERRY HILL

BUSINESS UNIT NUMBER

831969

SITE ADDRESS

5981 BERRY HILL ROAD
DANVILLE, VA 24069

SHEET TITLE

PROPOSED
SITE PLAN

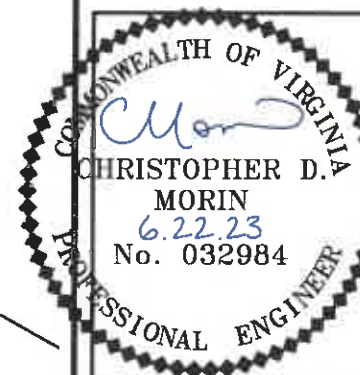
SHEET NUMBER



PROPOSED SITE PLAN

SCALE: 1"=500' (11"X17")
1"=300' (24"X36")

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NO.	DATE	DESCRIPTION	BY	AGT	AGT	AGT	AGT	AGT
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B	06-13-23	PRELIMINARY ZONING DRAWINGS						
C	06-15-23	PRELIMINARY ZONING DRAWINGS						
D	06-21-23	PRELIMINARY ZONING DRAWINGS						
E	06-22-23	FINAL ZONING DRAWINGS						

DRAWN BY: AGT
 CHECKED BY: BMQ
 DRAWING DATE: 06/22/23

CARRIER'S NAME

SITE NUMBER:

SITE NAME:

SITE NAME

BERRY HILL

BUSINESS UNIT NUMBER

831969

SITE ADDRESS

5981 BERRY HILL ROAD
 DANVILLE, VA 24069

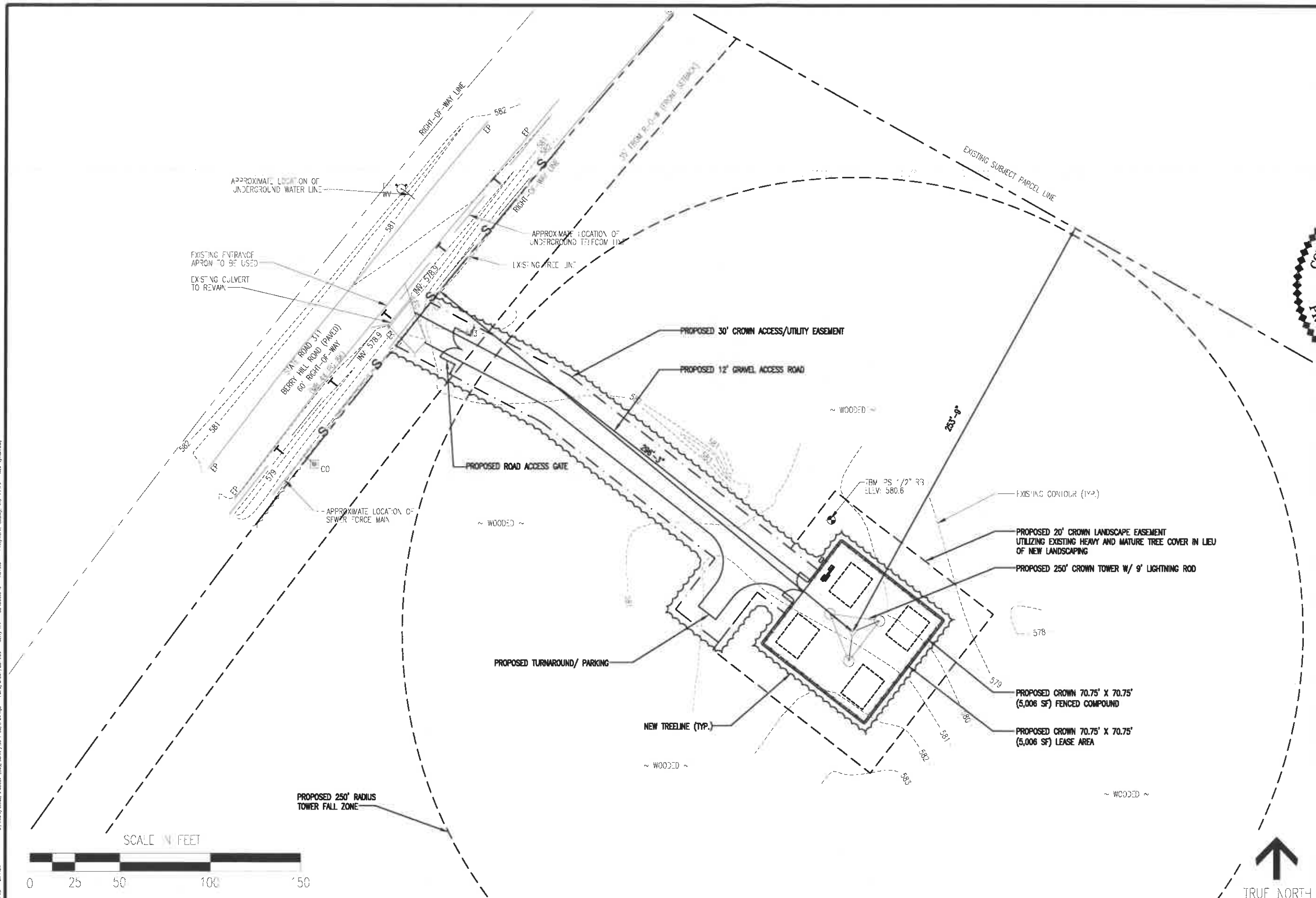
SHEET TITLE

ENLARGED

PROPOSED SITE PLAN

SHEET NUMBER

A-0A

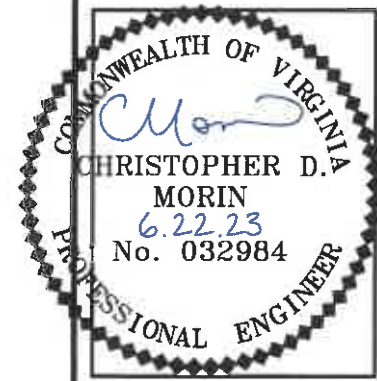


ENLARGED PROPOSED SITE PLAN

SCALE: 1"=50' (11"x17")
 1"=25' (24"x36")

1

C:\Users\jacob.proulx\OneDrive\Documents\Projects\0623\Crown/BC Final/Drawings - Berry Hill - Danville - 8/27/23
 06-21-23 - A105 - 8/27/23



REVISIONS NO.	DATE	DESCRIPTION	BY
A	06-02-23	PRELIMINARY ZONING DRAWINGS	AGT
B	06-13-23	PRELIMINARY ZONING DRAWINGS	AGT
C	06-15-23	PRELIMINARY ZONING DRAWINGS	AGT
D	06-21-23	PRELIMINARY ZONING DRAWINGS	AGT
E	06-22-23	FINAL ZONING DRAWINGS	AGT

DRAWN BY: **AGT**
 CHECKED BY: **BMQ**
 DRAWING DATE: **06/22/23**

CARRIER'S NAME

SITE NUMBER:

SITE NAME

BERRY HILL

BUSINESS UNIT NUMBER

831969

SITE ADDRESS

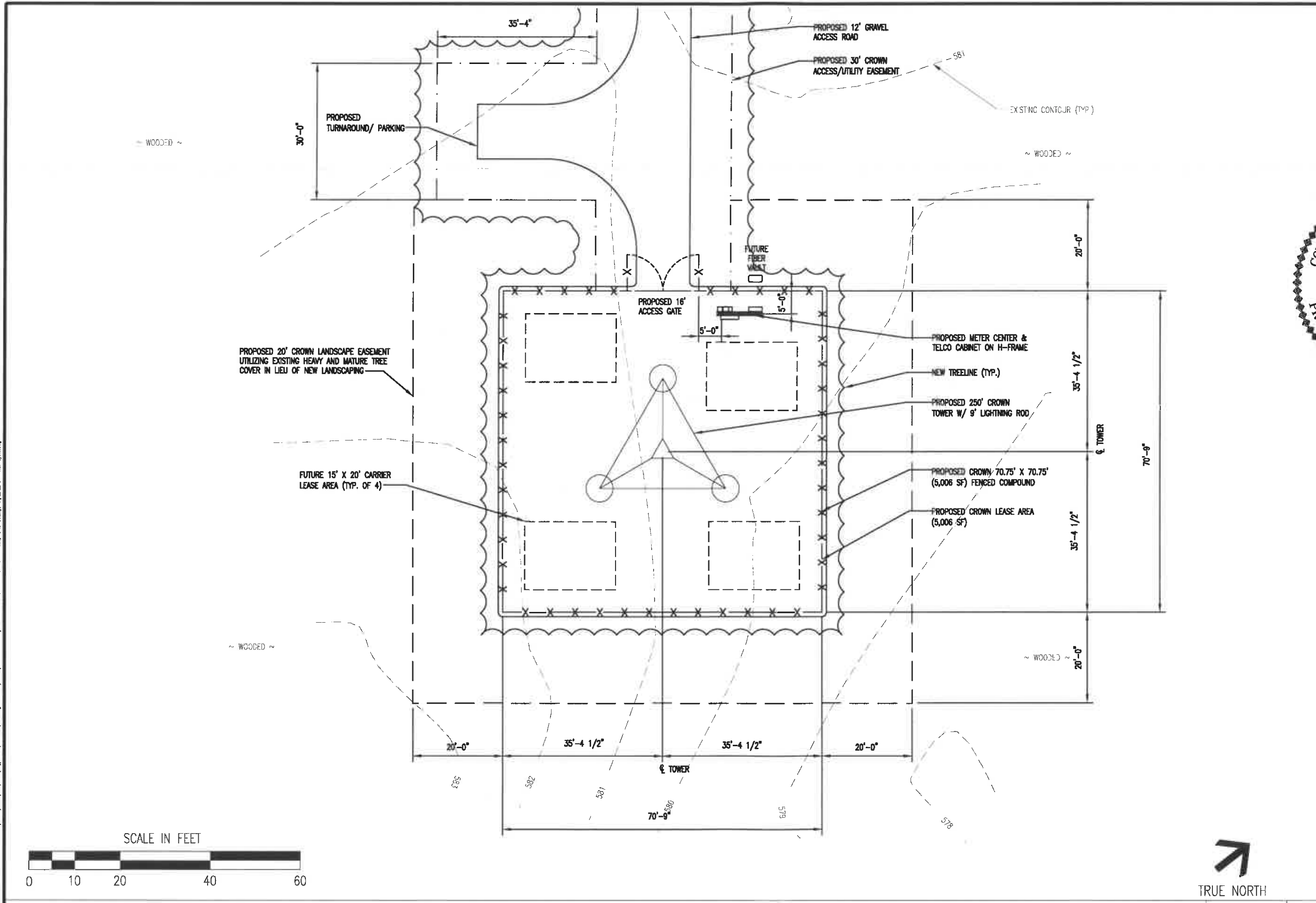
**5981 BERRY HILL ROAD
 DANVILLE, VA 24069**

SHEET TITLE

PROPOSED COMPOUND PLAN

SHEET NUMBER

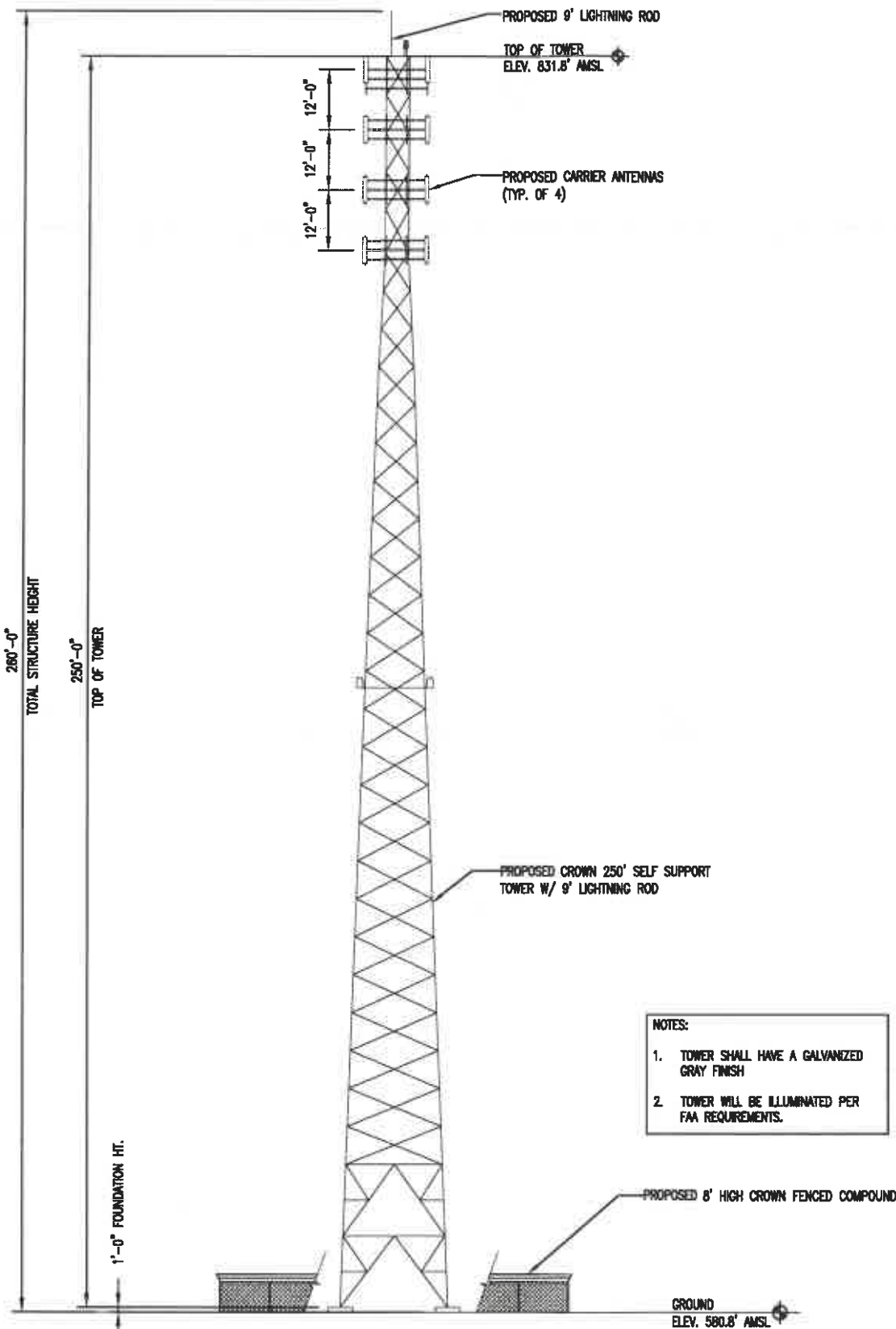
A-1



PROPOSED COMPOUND PLAN

SCALE: 1"=20' (11"x17")
 1"=10' (24"x36")

06-15-23 ATECS 17:16:13 C:\Users\adam\Documents (82)\Server\BC Firm\Drawings - 2023\Crown\B118189 - Berry Hill - Danville - Pittsylvania County, VA_P2D.dwg - Rev C/A1.dwg



- NOTES:**
1. TOWER SHALL HAVE A GALVANIZED GRAY FINISH
 2. TOWER WILL BE ILLUMINATED PER FAA REQUIREMENTS.



PROPOSED TOWER ELEVATION

CROWN CASTLE
 6325 ADRY HELL RD., SUITE 600
 CHARLOTTE, NC 28277
 TEL: (877) 486-8377

BC
 5801 COLUMBIA PIKE, SUITE 200
 FALLS CHURCH, VA 22041-2888
 TEL: (703) 671-8000
 FAX: (703) 671-8000
 architects
 engineers

COMMONWEALTH OF VIRGINIA
Chris Morin
 CHRISTOPHER D. MORIN
 6.22.23
 No. 032984
 PROFESSIONAL ENGINEER

REVISIONS NO.	DATE	DESCRIPTION	BY
A	06-02-23	PRELIMINARY ZONING DRAWINGS	AGT
B	06-13-23	PRELIMINARY ZONING DRAWINGS	AGT
C	06-15-23	PRELIMINARY ZONING DRAWINGS	AGT
D	06-21-23	PRELIMINARY ZONING DRAWINGS	AGT
E	06-22-23	FINAL ZONING DRAWINGS	AGT

DRAWN BY: **AGT**
 CHECKED BY: **BMQ**
 DRAWING DATE: **06/22/23**

CARRIER'S NAME

SITE NUMBER:
 SITE NAME:

SITE NAME
BERRY HILL

BUSINESS UNIT NUMBER

831969

SITE ADDRESS

**5981 BERRY HILL ROAD
 DANVILLE, VA 24069**

SHEET TITLE

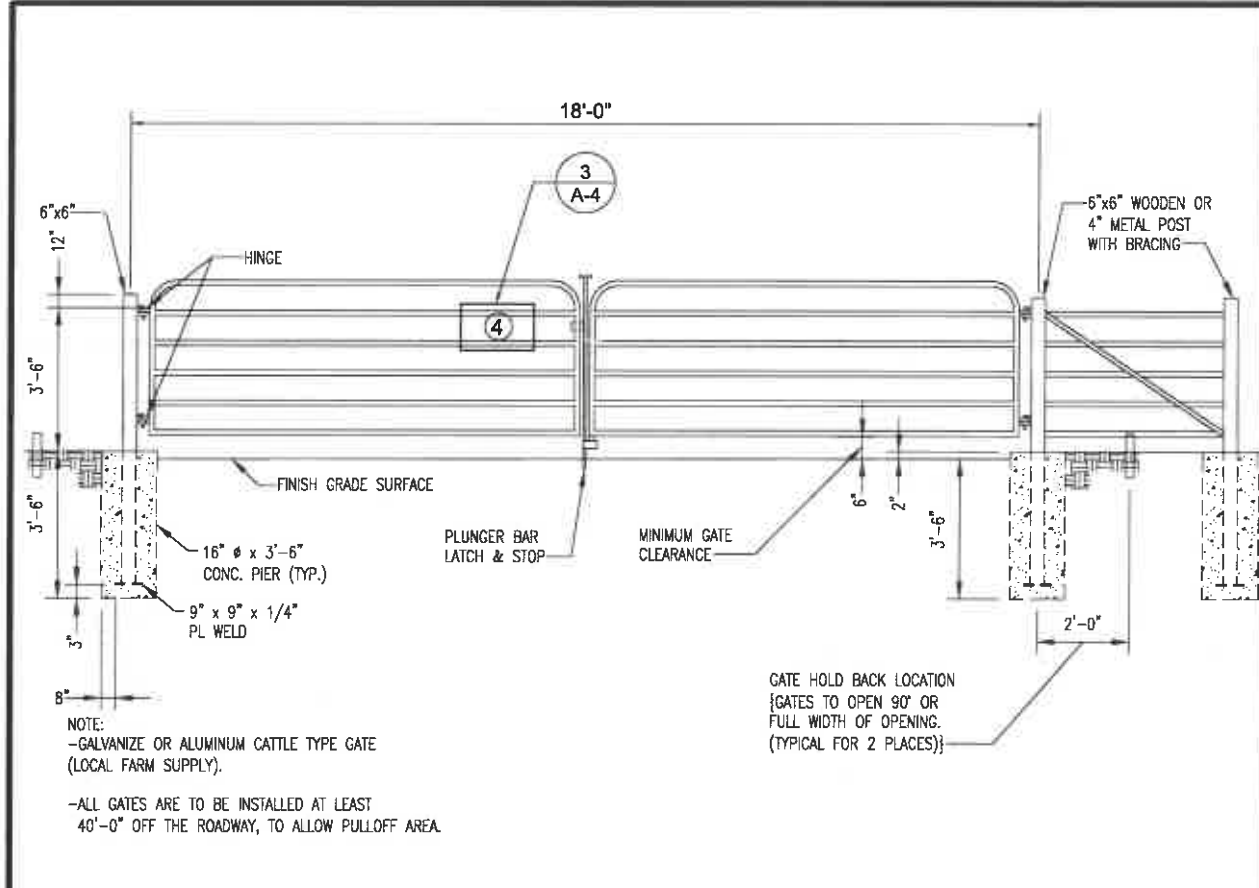
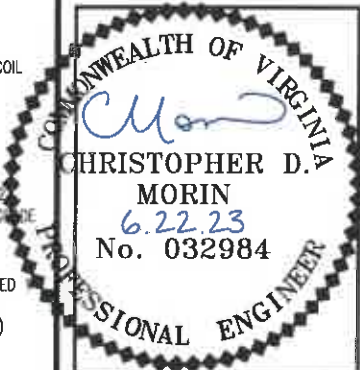
**PROPOSED TOWER
 ELEVATION**

SHEET NUMBER

SCALE: 1"=30' (11"x17")
 1"=15' (24"x36")

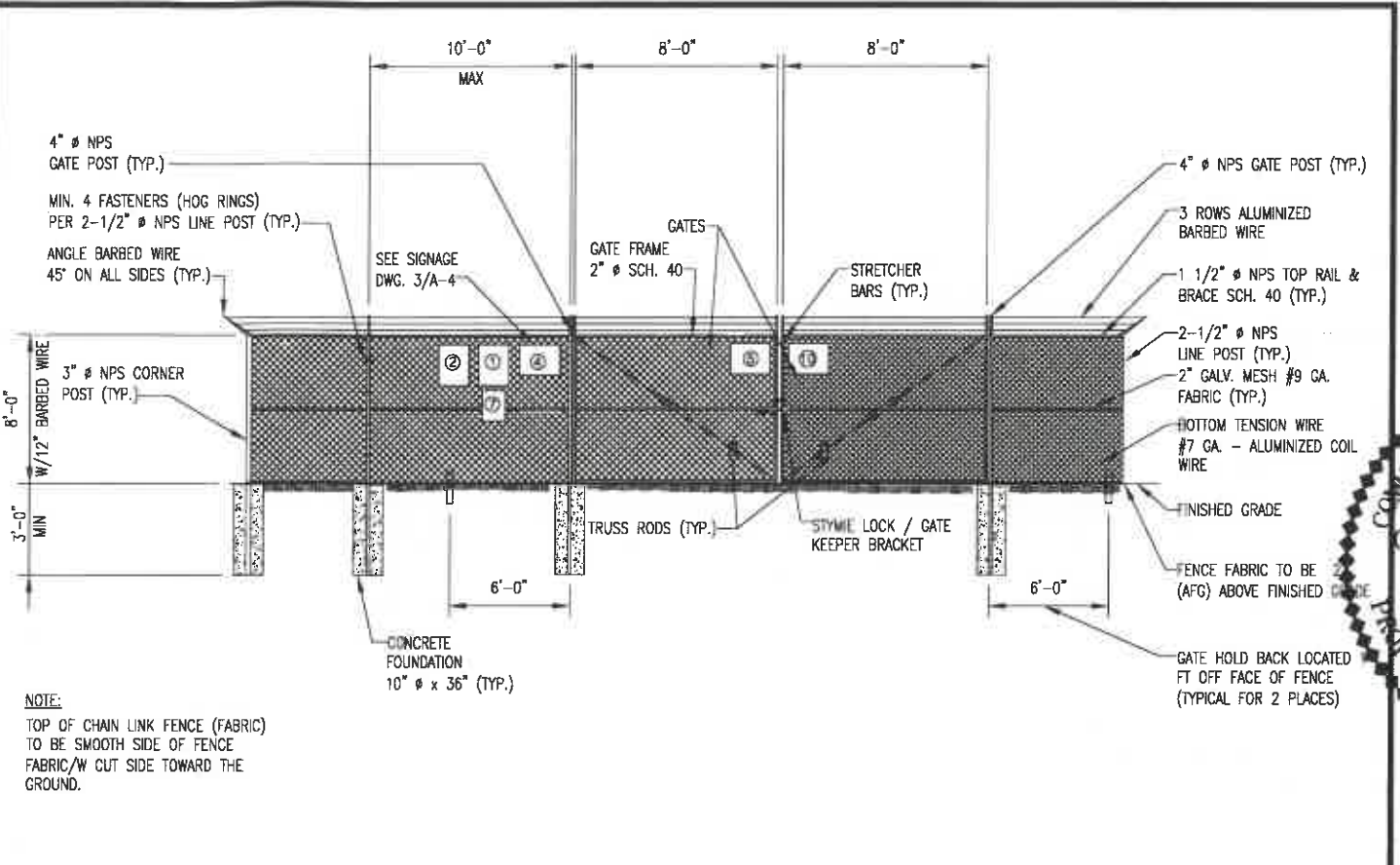
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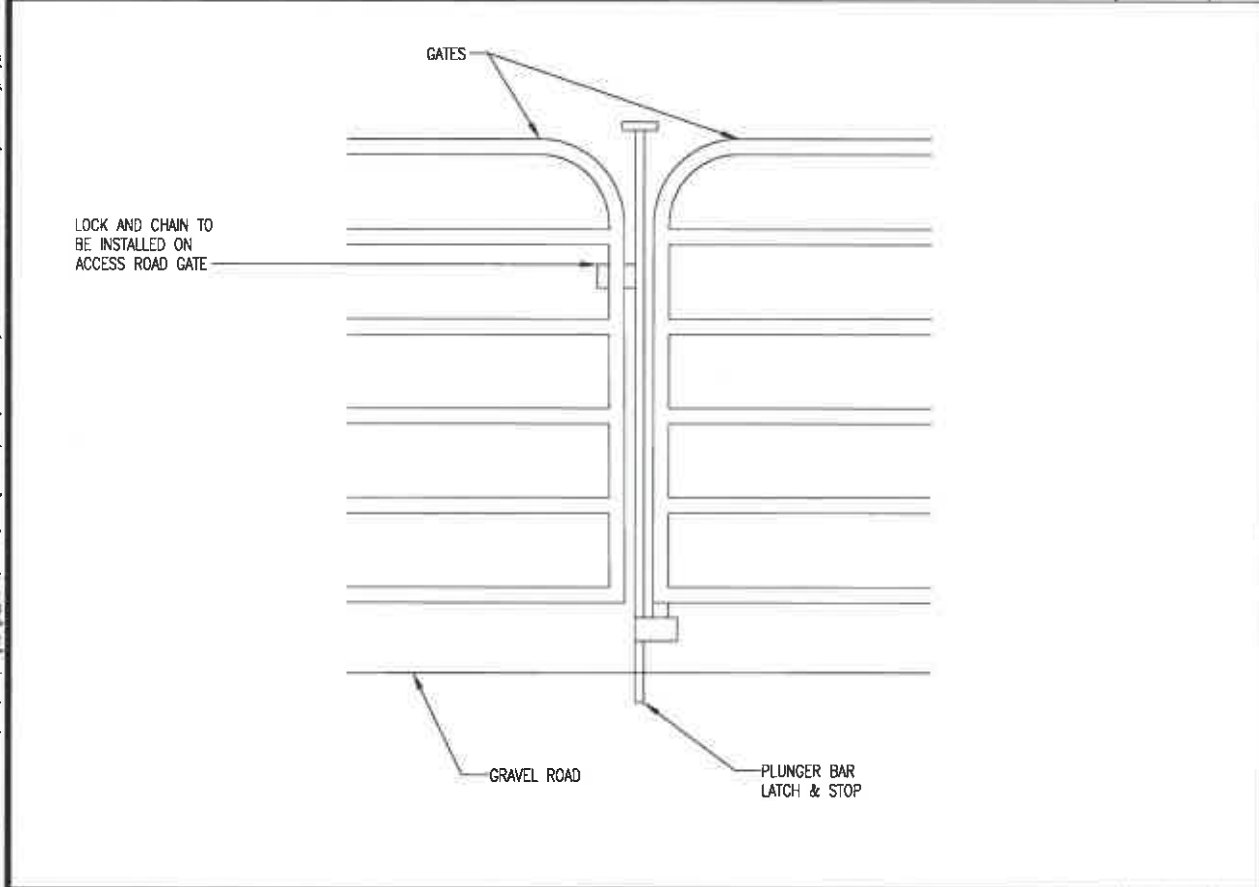
ROAD ACCESS GATE

SCALE: N.T.S. **1**



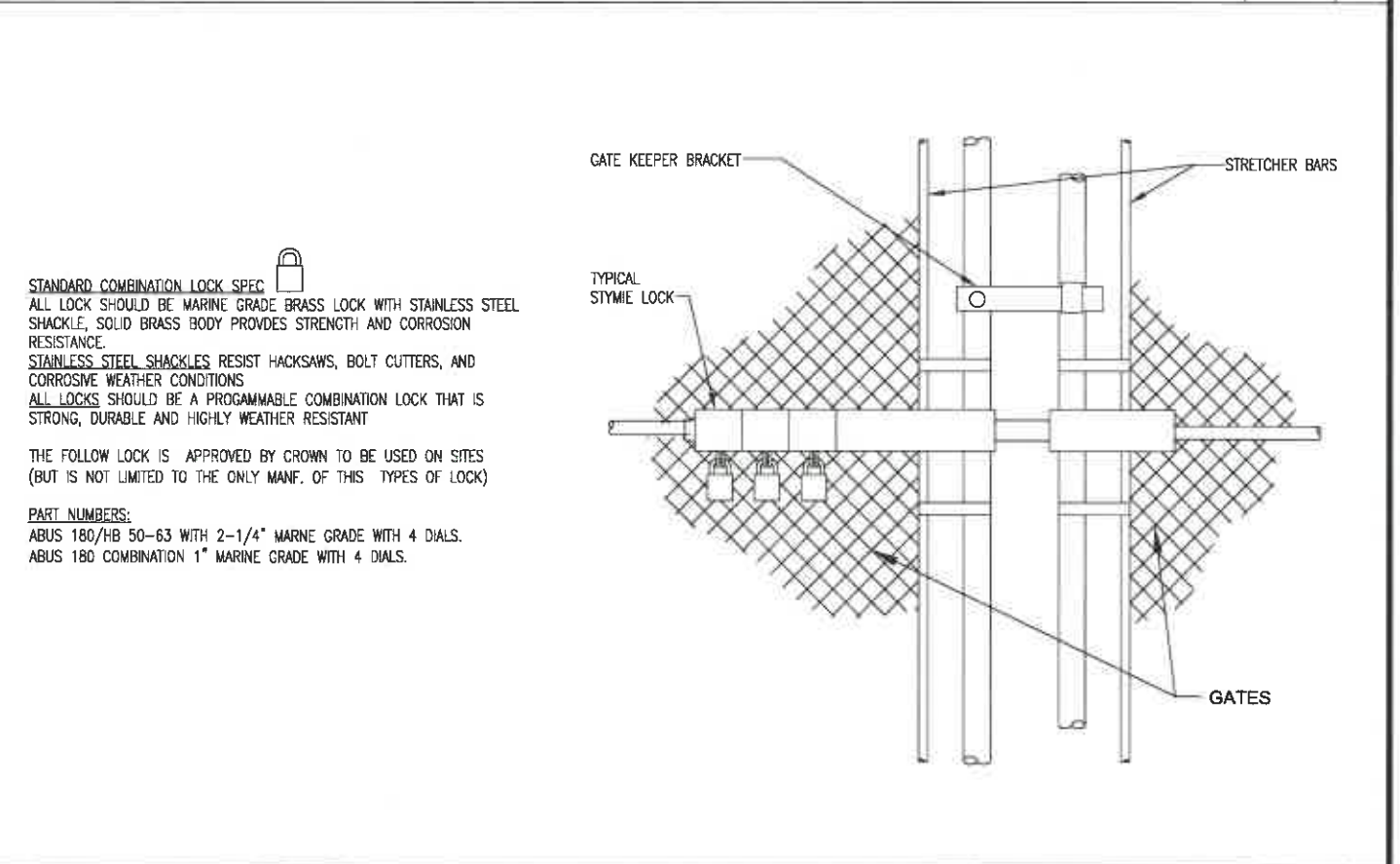
TYPICAL FENCE & GATE SECTION

SCALE: N.T.S. **2**



PLUNGER BAR DETAIL

SCALE: N.T.S. **3**



STYMIE LOCK DETAIL

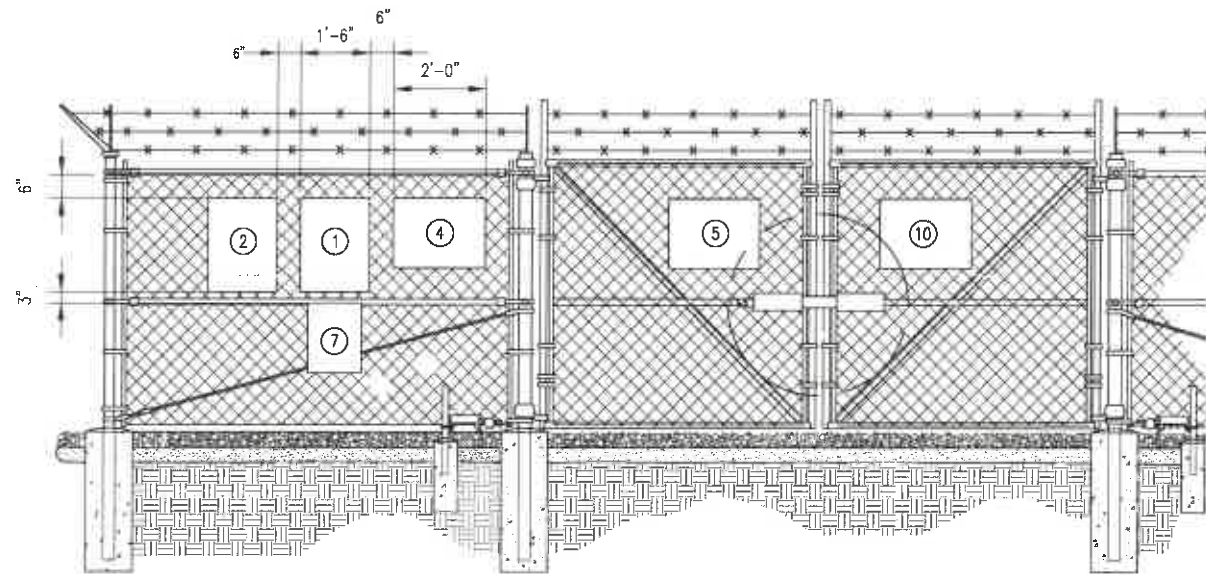
SCALE: N.T.S. **4**

NO.	DATE	DESCRIPTION	BY	AGT	AGT	AGT	AGT
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B	06-13-23	PRELIMINARY ZONING DRAWINGS					
C	06-15-23	PRELIMINARY ZONING DRAWINGS					
D	06-21-23	PRELIMINARY ZONING DRAWINGS					
E	06-22-23	FINAL ZONING DRAWINGS					

DRAWN BY: **AGT**
 CHECKED BY: **BMQ**
 DRAWING DATE: **06/22/23**

CARRIER'S NAME
 SITE NUMBER:
 SITE NAME:
 SITE NAME
BERRY HILL
 BUSINESS UNIT NUMBER
831969
 SITE ADDRESS
**5981 BERRY HILL ROAD
 DANVILLE, VA 24069**

SHEET TITLE
**FENCE & GATE
 DETAILS**
 SHEET NUMBER



SITE SIGNAGE LOCATIONS

SCALE: N.T.S. **1**

CROWN CASTLE
www.crowncastle.com
FOR LEASE INFORMATION: 877-486-9377
FOR LEASE INFORMATION: 800-788-7011
CROWN BUSINESS UNIT NUMBER: 831969
SITE ADDRESS: 5981 BERRY HILL ROAD DANVILLE, VA 24069
SITE NAME: BERRY HILL
FCC TOWER REGISTRATION NO.:

⑩ MARKETING/ID SIGN w/ FCC #
 24" WIDE X 18" HIGH

MAIN MARKETING / ID SIGN W/ FCC #

SCALE: N.T.S. **2**

PRIVATE PROPERTY
 NO TRESPASSING
 VIOLATORS WILL BE PROSECUTED

RED BACKGROUND W/WHITE LETTERING
 WHITE BACKGROUND W/RED LETTERING
 RED BACKGROUND W/WHITE LETTERING

① NO-TRESPASSING SIGN
 18" WIDE X 24" HIGH

WARNING
 THIS SITE IS POSTED & PROTECTED BY RAZOR WIRE

RED BACKGROUND W/WHITE LETTERING
 WHITE BACKGROUND W/BLACK LETTERING

② RAZOR-WIRE SIGN
 18" WIDE X 24" HIGH

SITE ID# 831969
 VERIFIED 911 STREET ADDRESS
 CITY, STATE AND ZIP CODE
 FOR LEASE INFORMATION CALL 1-877-788-7011
 FOR 24 HOUR EMERGENCY SERVICE CALL 1-800-788-7011
 FCC TOWER REGISTRATION NO. 1234567

④ MARKETING/ID SIGN w/ FCC # IN 2" LETTERING
 24" WIDE X 18" HIGH

WARNING
 AUTHORIZED PERSONNEL ONLY
 HARD HATS REQUIRED
 WATCH FOR FALLING MATERIAL
 WATCH FOR TRIPPING HAZARDS
 WATCH FOR UNEVEN SURFACES
 IN THE EVENT OF A T-STORM, VACATE THE COMPOUND.

RED BACKGROUND W/WHITE LETTERING
 WHITE BACKGROUND W/BLACK LETTERING

⑤ CAUTION-HARD HAT CONSTRUCTION AREA AND TRIPPING HAZARDS
 24" WIDE X 18" HIGH

TYPICAL SIGNS & SPECIFICATIONS

SCALE: N.T.S. **3**

A WHITE BACKGROUND W/BLACK LETTERING
AA WHITE BACKGROUND W/BLACK LETTERING
 5" WIDE X 10" HIGH
 10" WIDE X 10" HIGH

⑥ ANCHOR POINT SIGNS

NOTICE
 RADIO FREQUENCY ENVIRONMENT AREA

GREEN BACKGROUND W/WHITE LETTERING
 WHITE BACKGROUND W/BLACK LETTERING

⑦ NOTICE-RFE SIGN
 12" WIDE X 18" HIGH

CAUTION
 RADIO FREQUENCY ENVIRONMENT AREA

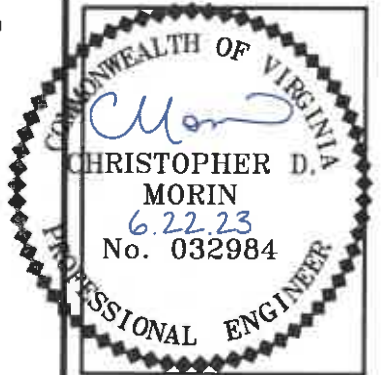
YELLOW BACKGROUND W/BLACK LETTERING
 WHITE BACKGROUND W/BLACK LETTERING AND YELLOW SYMBOL

⑧ CAUTION-RFE SIGN
 LABELS OR STICKER ARE ACCEPTABLE FOR MONOPOLE TYPE TOWERS
 12" WIDE X 18" HIGH

ASR 1234567
 WHITE W/BLACK LETTERING

⑨ ASR SIGN
 10" WIDE X 4" HIGH

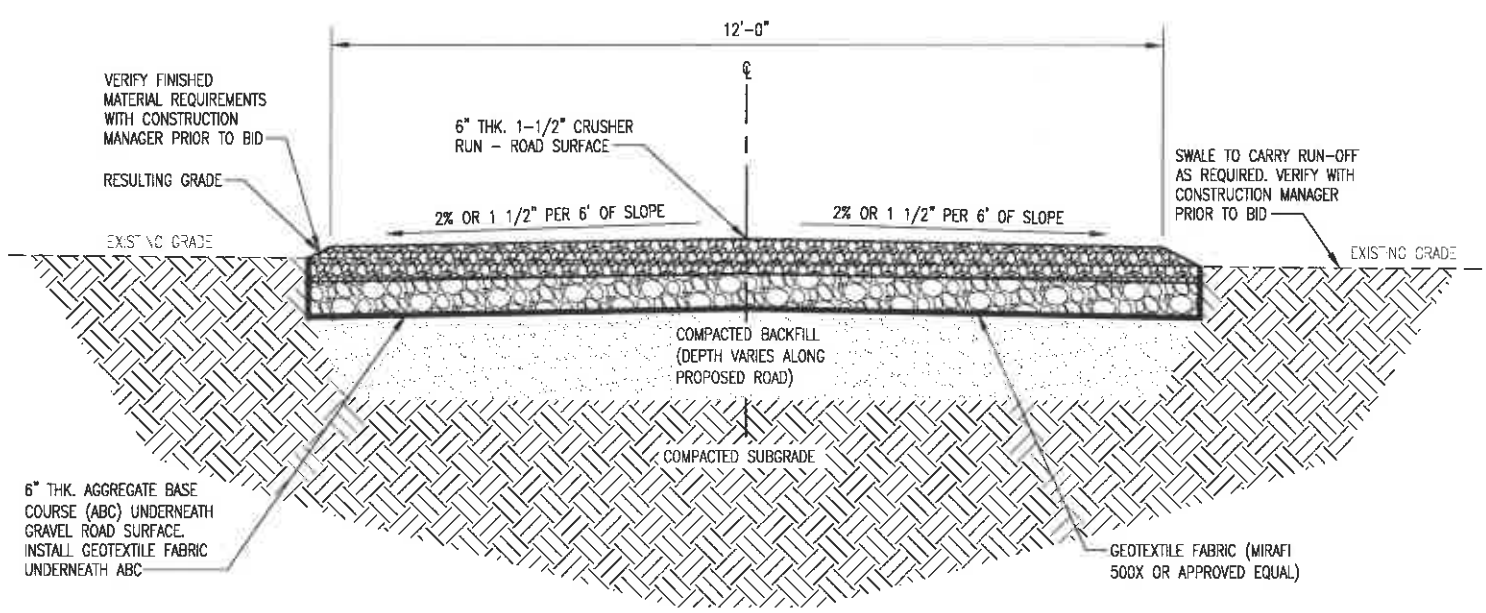
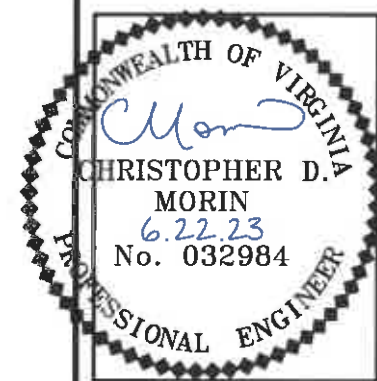
NOTE:
 ALL SIGNS TO BE INSTALLED ACCORDING TO DRAWING SITE SIGNAGE ADJACENT TO GATES (LEFT OR RIGHT SIDE OF GATE IS ACCEPTABLE, BUT MUST BE MOUNTED ON GATE SIDE OF COMPOUND, SO AS TO BE READABLE WITH GATES OPEN OR CLOSED).



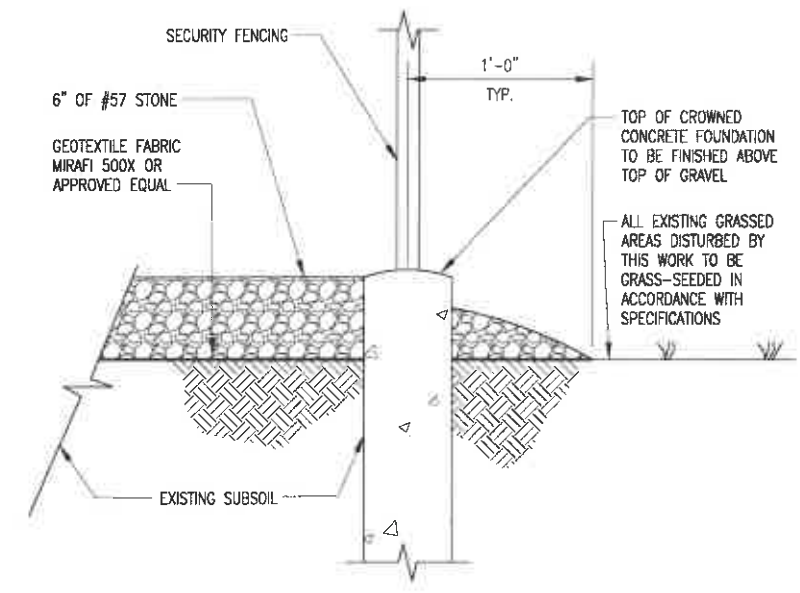
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	B	06-13-23	PRELIMINARY ZONING DRAWINGS					
	C	06-15-23	PRELIMINARY ZONING DRAWINGS					
	D	06-21-23	PRELIMINARY ZONING DRAWINGS					
	E	06-22-23	FINAL ZONING DRAWINGS					

DRAWN BY: **AGT**
 CHECKED BY: **BMQ**
 DRAWING DATE: **06/22/23**

CARRIER'S NAME: _____
 SITE NUMBER: _____
 SITE NAME: _____
BERRY HILL
 BUSINESS UNIT NUMBER: _____
831969
 SITE ADDRESS: _____
5981 BERRY HILL ROAD DANVILLE, VA 24069
 SHEET TITLE: _____
SITE SIGNAGE SPECS
 SHEET NUMBER: _____



EARTH WORK SUBGRADE COMPACTION & SELECT GRANULAR FILL



REVISIONS	NO.	DATE	DESCRIPTION	BY	AGT	AGT	AGT	AGT	AGT
	A	06-02-23	PRELIMINARY ZONING DRAWINGS						
	B	06-13-23	PRELIMINARY ZONING DRAWINGS						
	C	06-15-23	PRELIMINARY ZONING DRAWINGS						
	D	06-21-23	PRELIMINARY ZONING DRAWINGS						
	E	06-22-23	FINAL ZONING DRAWINGS						

DRAWN BY: AGT
 CHECKED BY: BMQ
 DRAWING DATE: 06/22/23

CARRIER'S NAME

SITE NUMBER:
 SITE NAME:

SITE NAME
 BERRY HILL

BUSINESS UNIT NUMBER
 831969

SITE ADDRESS
 5981 BERRY HILL ROAD
 DANVILLE, VA 24069

SHEET TITLE
 CIVIL DETAILS

SHEET NUMBER

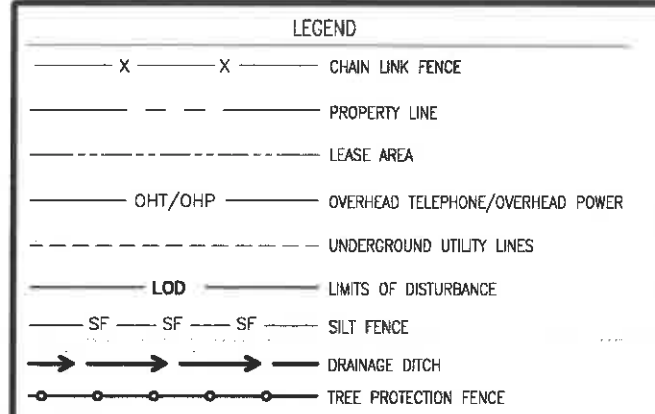
TYPICAL ROAD DETAIL

SCALE: N.T.S. 1

APRON DETAIL

SCALE: N.T.S. 2

08-21-23 ATCS 16:28:11 C:/Users/ahmed/Desktop (BC)/Berry Hill/Drawings - 2023/Civil/Drawings - Berry Hill - Carolina II - Hildner - P/Physicians County, VA/_023.dwg - Rev D/C/1.dwg



STRUCTURAL PRACTICES

SF	SEDIMENT BARRIER	SILT FENCE AND SUPER SILT FENCE VA E&S HANDBOOK STD & SPEC 3.05
CE	CONSTRUCTION ENTRANCE	TEMPORARY STONE CONSTRUCTION ENTRANCE VA E&S HANDBOOK STD & SPEC 3.02
TP	TREE PRESERVATION & PROTECTION	PROTECTING EXISTING TREES DURING CONST. ACTIVITY VA E&S HANDBOOK STD & SPEC 3.38

VEGETATIVE PRACTICES

MU	DISTURBED AREA STABILIZATION	MULCHING VA E&S HANDBOOK STD & SPEC 3.35
TS	DISTURBED AREA STABILIZATION	SEEDING FOR TEMPORARY VEGETATIVE COVER WITH FAST GROWING SEEDINGS ON DISTURBED AREAS THAT WILL NOT BE BROUGHT TO FINAL GRADE WITHIN 30 DAYS VA E&S HANDBOOK STD & SPEC 3.31
PS	DISTURBED AREA STABILIZATION	PERMANENT VEGETATIVE COVER AFTER FINE GRADING VA E&S HANDBOOK STD & SPEC 3.32

IMPERVIOUS AREA CALCULATIONS:
 DEVELOPMENT PARCEL (PARCEL ID: 1366-12-5834) = 289.47 AC

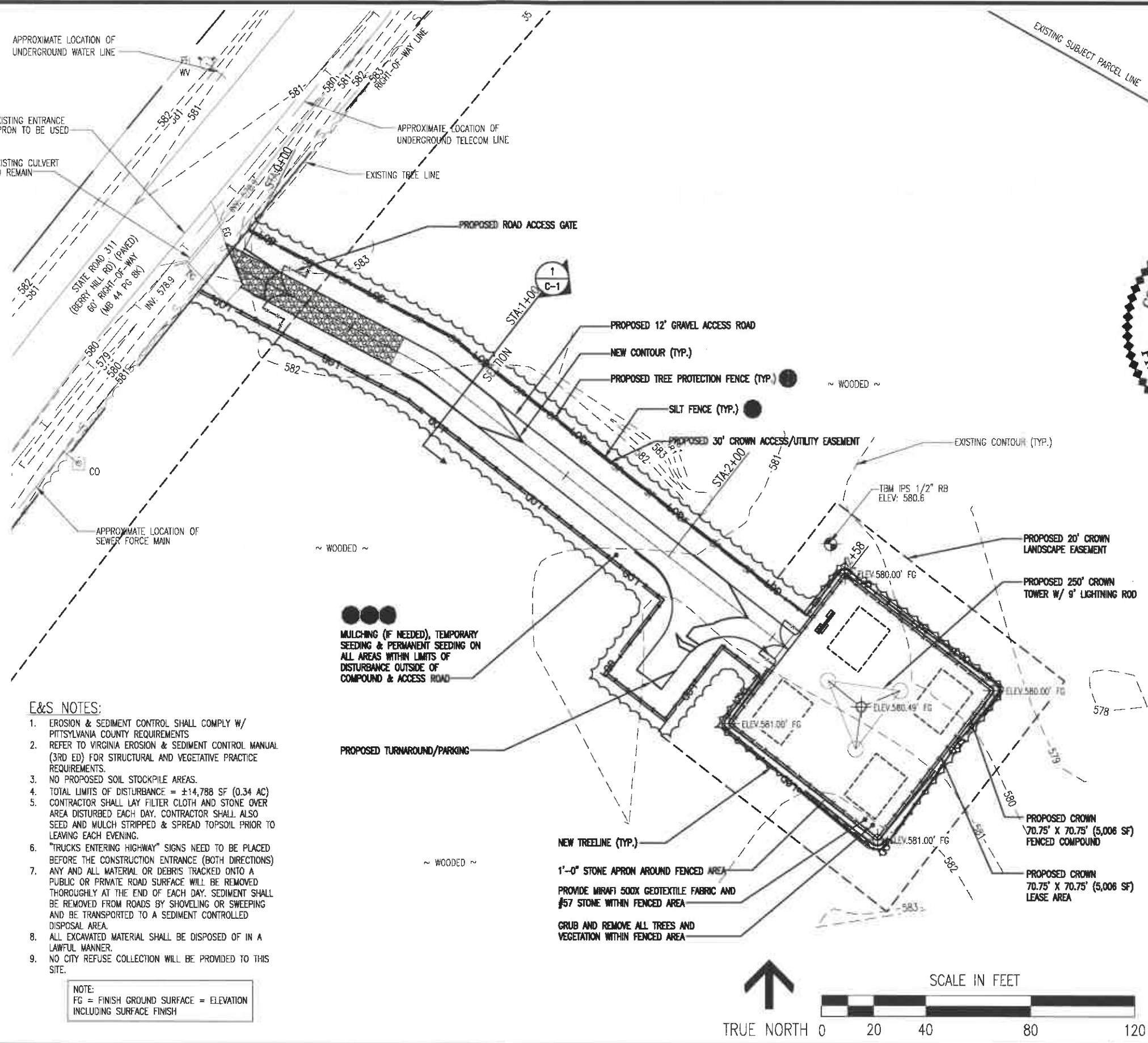
EXISTING IMPERVIOUS AREA = 125,382 SF/2.88 AC = 0.994%
 PROPOSED IMPERVIOUS AREA = 8,980 SF/0.20 AC = 0.019%
 TOTAL IMPERVIOUS AREA = 134,362 SF/3.09 AC = 1.067%

E&S QUANTITIES:

IMPERVIOUS AREA (ROAD & COMPOUND):

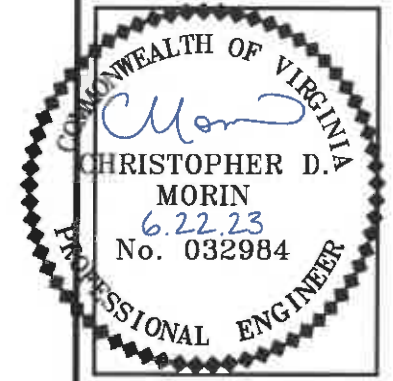
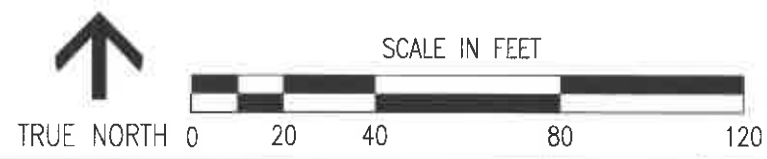
VDOT STD. 21A STONE (ROAD)	69 CU. YARDS
#57 STONE (COMPOUND)	98 CU. YARDS
FILTER CLOTH UNDERLINER (ROAD)	3,688 SQ. FT.
FILTER CLOTH UNDERLINER (COMP.)	5,292 SQ. FT.
CONSTRUCTION ROAD STABILIZATION	3,688 SQ. FT.
SILT FENCE:	332 LN. FT.
FABRIC:	1,106 SQ. FT.
2"x2" STAKES (5' LONG, 6' APART)	57 PCS. 5 FT. LONG
CONSTRUCTION ENTRANCE:	
VDOT #1 COARSE AGGREGATE (2" TO 3") STONE	18 CU. YARDS
FABRIC UNDERLINER	940 SQ. FT.
DISTURBED AREA STABILIZATION (AFTER SITE DEVELOPMENT)	
PERMANENT SEEDING	5,808 SQ. FT.
TEMPORARY SEEDING	5,808 SQ. FT.

MAJOR E&S QUANTITIES



- E&S NOTES:**
- EROSION & SEDIMENT CONTROL SHALL COMPLY W/ PITTSYLVANIA COUNTY REQUIREMENTS
 - REFER TO VIRGINIA EROSION & SEDIMENT CONTROL MANUAL (3RD ED) FOR STRUCTURAL AND VEGETATIVE PRACTICE REQUIREMENTS.
 - NO PROPOSED SOIL STOCKPILE AREAS.
 - TOTAL LIMITS OF DISTURBANCE = ±14,788 SF (0.34 AC)
 - CONTRACTOR SHALL LAY FILTER CLOTH AND STONE OVER AREA DISTURBED EACH DAY. CONTRACTOR SHALL ALSO SEED AND MULCH STRIPPED & SPREAD TOPSOIL PRIOR TO LEAVING EACH EVENING.
 - "TRUCKS ENTERING HIGHWAY" SIGNS NEED TO BE PLACED BEFORE THE CONSTRUCTION ENTRANCE (BOTH DIRECTIONS)
 - ANY AND ALL MATERIAL OR DEBRIS TRACKED ONTO A PUBLIC OR PRIVATE ROAD SURFACE WILL BE REMOVED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM ROADS BY SHOVELING OR SWEEPING AND BE TRANSPORTED TO A SEDIMENT CONTROLLED DISPOSAL AREA.
 - ALL EXCAVATED MATERIAL SHALL BE DISPOSED OF IN A LAWFUL MANNER.
 - NO CITY REFUSE COLLECTION WILL BE PROVIDED TO THIS SITE.

NOTE:
 FG = FINISH GROUND SURFACE = ELEVATION INCLUDING SURFACE FINISH



NO.	DATE	DESCRIPTION	BY	AGT	AGT	AGT	AGT
A	06-02-23	PRELIMINARY ZONING DRAWINGS					
B	06-13-23	PRELIMINARY ZONING DRAWINGS					
C	06-15-23	PRELIMINARY ZONING DRAWINGS					
D	06-21-23	PRELIMINARY ZONING DRAWINGS					
E	06-22-23	FINAL ZONING DRAWINGS					

DRAWN BY: AGT
 CHECKED BY: BMQ
 DRAWING DATE: 08/22/23

CARRIER'S NAME

SITE NUMBER:
 SITE NAME:
 BERRY HILL

BUSINESS UNIT NUMBER
 831969

SITE ADDRESS
 5981 BERRY HILL ROAD
 DANVILLE, VA 24069

SHEET TITLE
SITE GRADING, E&S CONTROL PLAN
 SHEET NUMBER

SITE GRADING, EROSION & SEDIMENT CONTROL PLAN

SCALE: 1"=40' (11"x17")
 1"=20' (24"x36")

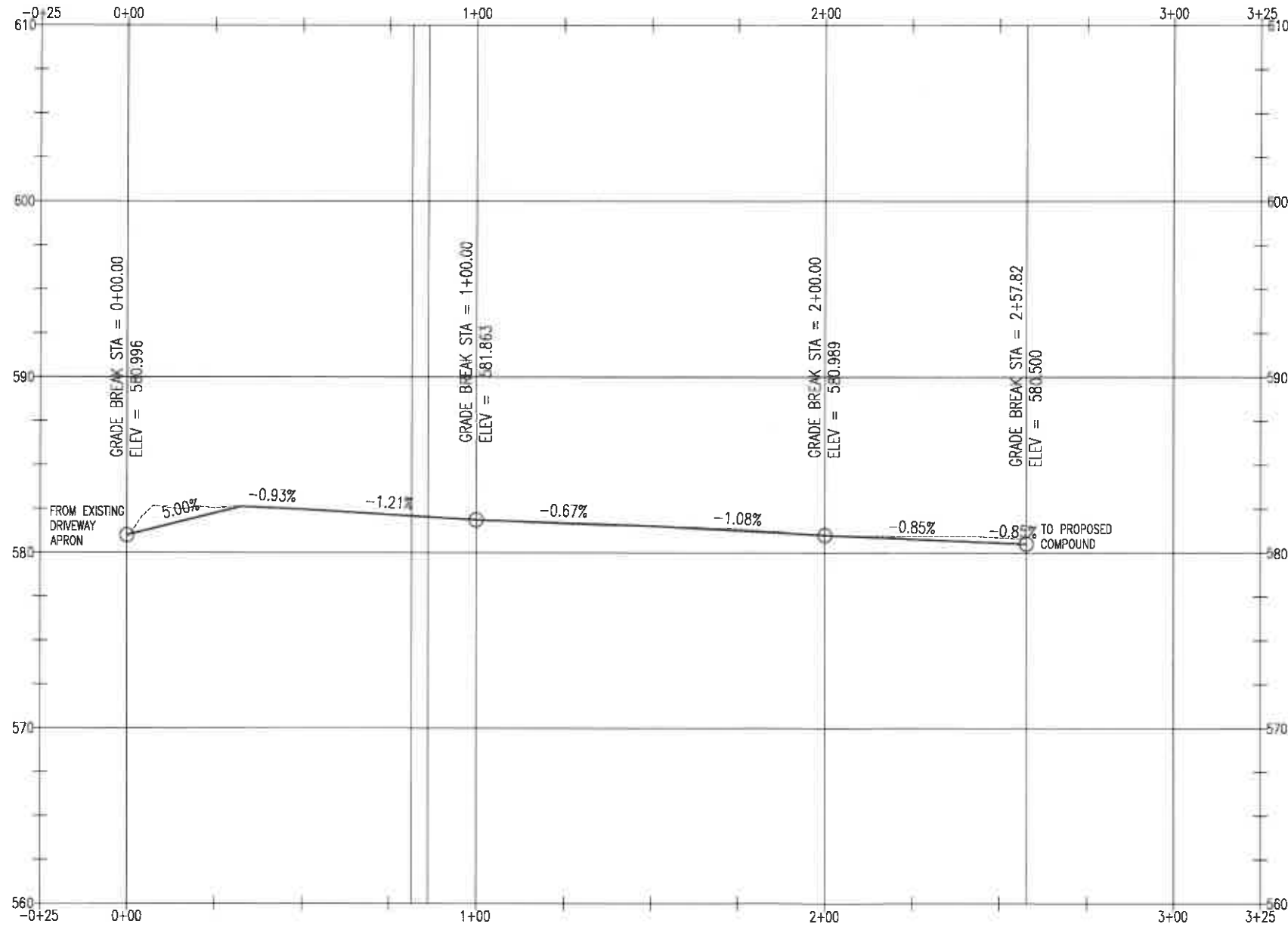
LEGEND

- EXISTING SURFACE PROFILE ALONG PROPOSED ROAD
- PROPOSED ROAD PROFILE

ACCESS ROAD PROFILE

Station

Elevation



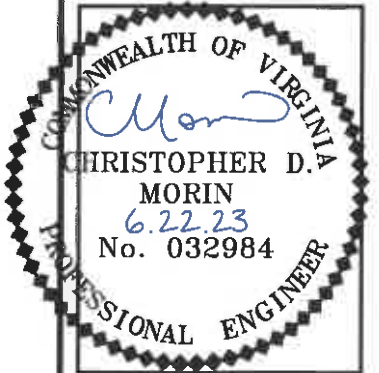
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ACCESS ROAD PROFILE

SCALE: 1"=40' (11"X17")
1"=20' (24"X36")

1



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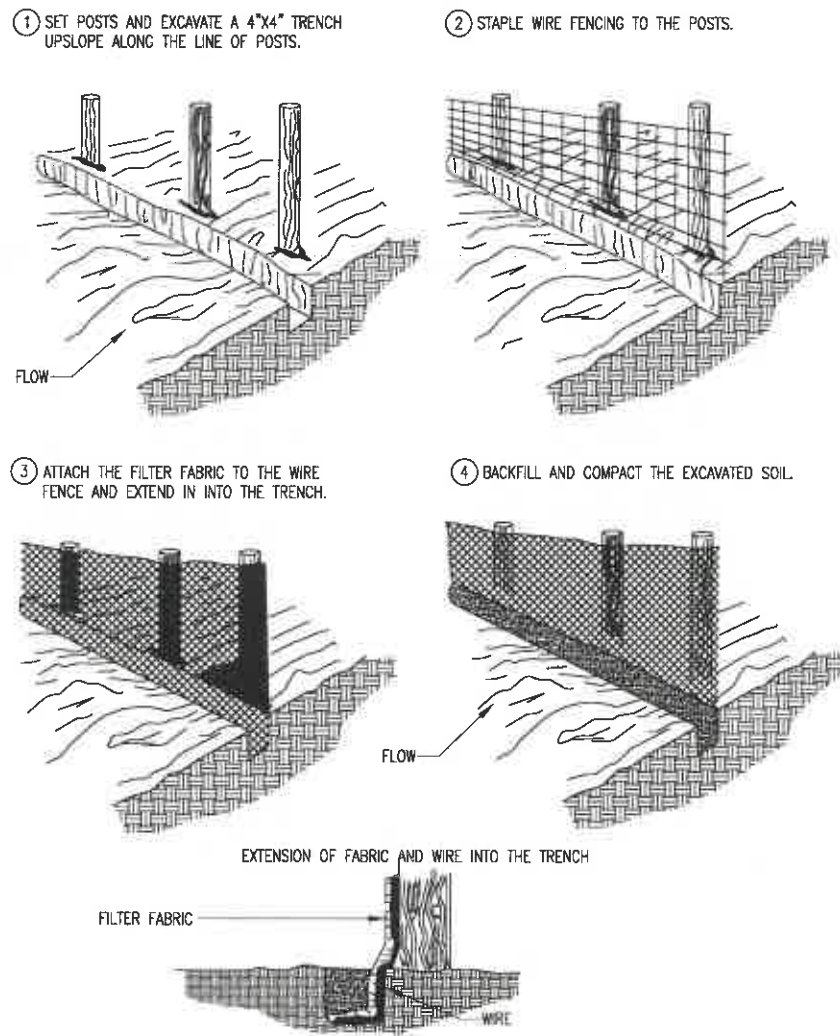
SITE NUMBER: _____
SITE NAME: _____
BERRY HILL

BUSINESS UNIT NUMBER: _____
831989

SITE ADDRESS: _____
5981 BERRY HILL ROAD
DANVILLE, VA 24069

SHEET TITLE: _____
ACCESS ROAD PROFILE
SHEET NUMBER: _____

CONSTRUCTION OF A SILT FENCE
(WITH WIRE SUPPORT)



CONSTRUCTION OF A SILT FENCE
(WITHOUT WIRE SUPPORT)

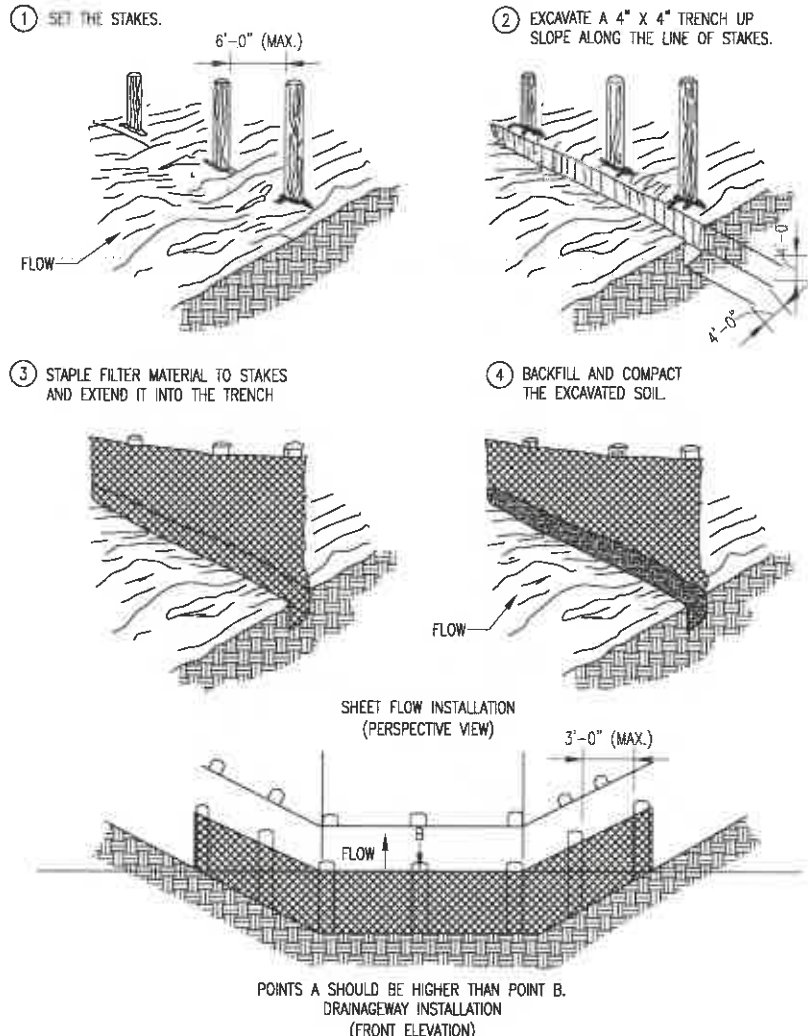


TABLE 3.05-A
TYPICAL FLOW RATES AND FILTERING EFFICIENCIES OF PERIMETER CONTROL

MATERIAL	FLOW RATE (GAL./SQ.FT./MIN)	FILTER EFFICIENCY (%)
STRAW	5.6	67
SYNTHETIC FABRIC	0.3	97

CONSTRUCTION SPECIFICATIONS
MATERIALS

- SYNTHETIC FILTER FABRIC SHALL BE A PERVIOUS SHEET OF PROPYLENE, NYLON, POLYESTER OR ETHYLENE YARN AND SHALL BE CERTIFIED BY THE MANUFACTURER OR SUPPLIER AS CONFORMING TO THE REQUIREMENTS NOTED IN TABLE 3.05-B.
- SYNTHETIC FILTER FABRIC SHALL CONTAIN ULTRAVIOLET RAY INHIBITORS AND STABILIZERS TO PROVIDE A MINIMUM OF SIX MONTHS OF EXPECTED USABLE CONSTRUCTION LIFE AT A TEMPERATURE RANGE OF 0° F TO 120° F.
- IF WOODEN STAKES ARE UTILIZED FOR SILT FENCE CONSTRUCTION, THEY MUST HAVE A DIAMETER OF 2 INCHES WHEN OAK IS USED AND 4 INCHES WHEN PINE IS USED. WOODEN STAKES MUST HAVE A MINIMUM LENGTH OF 5 FEET.
- IF STEEL POSTS (STANDARD "U" OR "I" SECTION) ARE UTILIZED FOR SILT FENCE CONSTRUCTION, THEY MUST HAVE A MINIMUM WEIGHT OF 1.33 POUNDS PER LINEAR FOOT AND SHALL HAVE A MINIMUM LENGTH OF 5 FEET.
- WIRE FENCE REINFORCEMENT FOR SILT FENCES USING STANDARD-STRENGTH FILTER CLOTH SHALL BE A MINIMUM OF 14 GAUGE AND SHALL HAVE A MAXIMUM MESH SPACING OF 6 INCHES.

TABLE 3.05-B
PHYSICAL PROPERTIES OF FILTER FABRIC IN SILT FENCE

PHYSICAL PROPERTY	TEST	REQUIREMENTS
FILTERING EFFICIENCY	ASTM 5141	75% (MINIMUM)
TENSILE STRENGTH AT 20% (MAX.) ELONGATION*	VTM-52	EXTRA STRENGTH - 50 LBS./LINEAR INCH (MINIMUM) STANDARD STRENGTH - 30 LBS./LINEAR INCH (MINIMUM)
FLOW RATE	ASTM 5141	0.2 GAL./SQ. FT./MINUTE (MINIMUM)
ULTRAVIOLET RADIATION STABILITY %	ASTM-G-26	90% (MINIMUM)

* REQUIREMENTS REDUCED BY 50% AFTER SIX MONTHS OF INSTALLATION.

SOURCE: VITRC
INSTALLATION

- THE HEIGHT OF A SILT FENCE SHALL BE A MINIMUM OF 16 INCHES ABOVE THE ORIGINAL GROUND SURFACE AND SHALL NOT EXCEED 34 INCHES ABOVE GROUND ELEVATION.
- THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID THE USE OF JOINTS. WHEN JOINTS ARE UNAVOIDABLE, FILTER CLOTH SHALL BE SPLICED TOGETHER ONLY AT A SUPPORT POST, WITH A MINIMUM 6-INCH OVERLAP, AND SECURELY SEALED.
- A TRENCH SHALL BE EXCAVATED APPROXIMATELY 4-INCHES WIDE AND 4-INCHES DEEP ON THE UPSLOPE SIDE OF THE PROPOSED LOCATION OF THE MEASURE.
- WHEN WIRE SUPPORT IS USED, STANDARD-STRENGTH FILTER CLOTH MAY BE USED. POSTS FOR THIS TYPE OF INSTALLATION SHALL BE PLACED A MAXIMUM OF 10 FEET APART (SEE PLATE 3.05-1). THE WIRE MESH FENCE MUST BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY DUTY WIRE STAPLES AT LEAST ONE INCH LONG, TIE WIRES OR HOG RINGS. THE WIRE SHALL EXTEND INTO THE TRENCH A MINIMUM OF TWO INCHES AND SHALL NOT EXTEND MORE THAN 34 INCHES ABOVE THE ORIGINAL GROUND SURFACE. THE STANDARD-STRENGTH FABRIC SHALL BE STAPLED OR WIRED TO THE WIRE FENCE, AND 8 INCHES OF THE FABRIC SHALL BE EXTENDED INTO THE TRENCH. THE FABRIC SHALL NOT BE STAPLED TO EXISTING TREES.
- WHEN WIRE SUPPORT IS NOT USED, EXTRA-STRENGTH FILTER CLOTH SHALL BE USED. POSTS FOR THIS TYPE OF FABRIC SHALL BE PLACED A MAXIMUM OF 6 FEET APART (SEE PLATE 3.05-2). THE FILTER FABRIC SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING ONE INCH LONG (MINIMUM) HEAVY-DUTY WIRE STAPLES OR TIE WIRES AND EIGHT INCHES OF THE FABRIC SHALL BE EXTENDED INTO THE TRENCH. THE FABRIC SHALL NOT BE STAPLED TO EXISTING TREES. THIS METHOD OF INSTALLATION HAS BEEN FOUND TO BE MORE COMMONPLACE THAN #4.
- IF A SILT FENCE IS TO BE CONSTRUCTED ACROSS A DITCH LINE OR SWALE, THE MEASURE MUST BE OF SUFFICIENT LENGTH TO ELIMINATE ENDFLOW, AND THE PLAN CONFIGURATION SHALL RESEMBLE AN ARC OR HORSESHOE WITH THE ENDS ORIENTED UPSLOPE (SEE PLATE 3.05-2). EXTRA-STRENGTH FILTER FABRIC SHALL BE USED FOR THIS APPLICATION WITH A MAXIMUM 3-FOOT SPACING OF POSTS. ALL OTHER INSTALLATION REQUIREMENTS NOTED IN #5 APPLY.
- THE 4-INCH BY 4-INCH TRENCH SHALL BE BACKFILLED AND THE SOIL COMPACTED OVER THE FILTER FABRIC.
- SILT FENCES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE, BUT NOT BEFORE THE UPSLOPE AREA HAS BEEN PERMANENTLY STABILIZED.

MAINTENANCE

- SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
- CLOSE ATTENTION SHALL BE PAID TO THE REPAIR OF DAMAGED SILT FENCE RESULTING FROM END RUNS AND UNDERCUTTING.
- SHOULD THE FABRIC ON A SILT FENCE DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER STILL BE NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.
- SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.
- ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM WITH THE EXISTING GRADE, PREPARED AND SEEDED.

PLATE 3.05-1

SOURCE: ADAPTED FROM INSTALLATION OF STRAW AND FABRIC FILTER BARRIERS FOR SEDIMENT CONTROL, SHERWOOD AND WYANT

PLATE 3.05-2

SSF SUPER SILT FENCE STD 3.05
(IF NECESSARY)

DEFINITION

A TEMPORARY SEDIMENT BARRIER CONSISTING OF A SYNTHETIC FILTER FABRIC STRETCHED ACROSS AND ATTACHED TO SUPPORTING POSTS AND ENTRENCHED.

PURPOSES

- TO INTERCEPT AND DETAIN SMALL AMOUNTS OF SEDIMENT FROM DISTURBED AREAS DURING CONSTRUCTION OPERATIONS IN ORDER TO PREVENT SEDIMENT FROM LEAVING THE SITE.
- TO DECREASE THE VELOCITY OF SHEET FLOWS AND LOW-TO-MODERATE LEVEL CHANNEL FLOWS.

CONDITIONS WHERE PRACTICE APPLIES

- BELOW DISTURBED AREAS WHERE EROSION WOULD OCCUR IN THE FORM OF SHEET AND RILL EROSION.
- WHERE THE SIZE OF THE DRAINAGE AREA IS NO MORE THAN ONE QUARTER ACRE PER 100 FEET OF SILT FENCE LENGTH; THE MAXIMUM SLOPE LENGTH BEHIND THE BARRIER IS 100 FEET; AND THE MAXIMUM GRADIENT BEHIND THE BARRIER IS 50 PERCENT (2:1).
- IN MINOR SWALES OR DITCH LINES WHERE THE MAXIMUM CONTRIBUTING DRAINAGE AREA IS NO GREATER THAN 1 ACRE AND FLOW IS NO GREATER THAN 1 CFS.
- SILT FENCE WILL NOT BE USED IN AREAS WHERE ROCK OR SOME OTHER HARD SURFACE PREVENTS THE FULL AND UNIFORM DEPTH ANCHORING OF THE BARRIER.

PLANNING CONSIDERATIONS

LABORATORY WORK AT THE VIRGINIA HIGHWAY AND TRANSPORTATION RESEARCH COUNCIL (VITRC) HAS SHOWN THAT SILT FENCES CAN TRAP A MUCH HIGHER PERCENTAGE OF SUSPENDED SEDIMENTS THAN STRAW BALES, THOUGH SILT FENCE PASSES THE SEDIMENT-LADEN WATER SLOWER. SILT FENCES ARE PREFERABLE TO STRAW BARRIERS IN MANY CASES BECAUSE OF THEIR DURABILITY AND POTENTIAL COST SAVINGS. WHILE THE FAILURE RATE OF SILT FENCES IS LOWER THAN THAT OF STRAW BARRIERS, MANY INSTANCES HAVE BEEN OBSERVED WHERE SILT FENCES ARE IMPROPERLY INSTALLED, INVITING FAILURE AND SEDIMENT LOSS. THE INSTALLATION METHODS OUTLINED HERE CAN IMPROVE PERFORMANCE AND REDUCE FAILURES.

AS NOTED, FLOW RATE THROUGH SILT FENCE IS SIGNIFICANTLY LOWER THAN THE FLOW RATE FOR STRAW BALE BARRIERS. THIS CREATES MORE PONDING AND HENCE MORE TIME FOR SEDIMENT TO FALL OUT. TABLE 3.05-A DEMONSTRATES THESE RELATIONSHIPS.

BOTH WOVEN AND NON-WOVEN SYNTHETIC FABRICS ARE COMMERCIALY AVAILABLE. THE WOVEN FABRICS GENERALLY DISPLAY HIGHER STRENGTH THAN THE NON-WOVEN FABRICS AND, IN MOST CASES, DO NOT REQUIRE ANY ADDITIONAL REINFORCEMENT. WHEN TESTED UNDER ACID AND ALKALINE WATER CONDITIONS, MOST OF THE WOVEN FABRICS INCREASE IN STRENGTH, WHILE THE REACTIONS OF NON-WOVEN FABRICS TO THESE CONDITIONS ARE VARIABLE. THE SAME IS TRUE OF TESTING UNDER EXTENSIVE ULTRAVIOLET RADIATION. PERMEABILITY RATES VARY REGARDLESS OF FABRIC TYPE. WHILE ALL OF THE FABRICS DEMONSTRATE VERY HIGH FILTERING EFFICIENCIES FOR SANDY SEDIMENTS, THERE IS CONSIDERABLE VARIATION AMONG BOTH WOVEN AND NON-WOVEN FABRICS WHEN FILTERING THE FINER SILT AND CLAY PARTICLES.

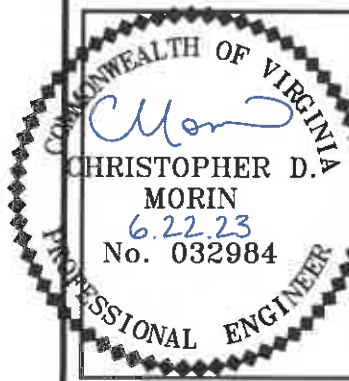
DESIGN CRITERIA

- NO FORMAL DESIGN IS REQUIRED. AS WITH STRAW BALE BARRIERS, AN EFFORT SHOULD BE MADE TO LOCATE SILT FENCE AT LEAST 5 FEET TO 7 FEET BEYOND THE BASE OF DISTURBED SLOPES WITH GRADES GREATER THAN 7%.
- THE USE OF SILT FENCES, BECAUSE THEY HAVE SUCH A LOW PERMEABILITY, IS LIMITED TO SITUATIONS IN WHICH ONLY SHEET OR OVERLAND FLOWS ARE EXPECTED AND WHERE CONCENTRATED FLOWS ORIGINATE FROM DRAINAGE AREAS OF 1 ACRE OR LESS.
- FIELD EXPERIENCE HAS DEMONSTRATED THAT, IN MANY INSTANCES, SILT FENCE IS INSTALLED TOO SHORT (LESS THAN 16 INCHES ABOVE GROUND ELEVATION). THE SHORT FENCE IS SUBJECT TO BREACHING DURING EVEN SMALL STORM EVENTS AND WILL REQUIRE MAINTENANCE "CLEAN OUTS" MORE OFTEN. PROPERLY SUPPORTED SILT FENCE WHICH STANDS 24 TO 34 INCHES ABOVE THE EXISTING GRADE TENDS TO PROMOTE MORE EFFECTIVE SEDIMENT CONTROL.

SF SILT FENCE STD 3.05

SILT FENCE DETAILS & NOTES

SCALE: N.T.S.



NO.	DATE	DESCRIPTION	BY	AGT	AGT	AGT	AGT	AGT
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DRAWN BY: AGT
CHECKED BY: BMQ
DRAWING DATE: 06/22/23

CARRIER'S NAME

SITE NUMBER:
SITE NAME:

SITE NAME
BERRY HILL

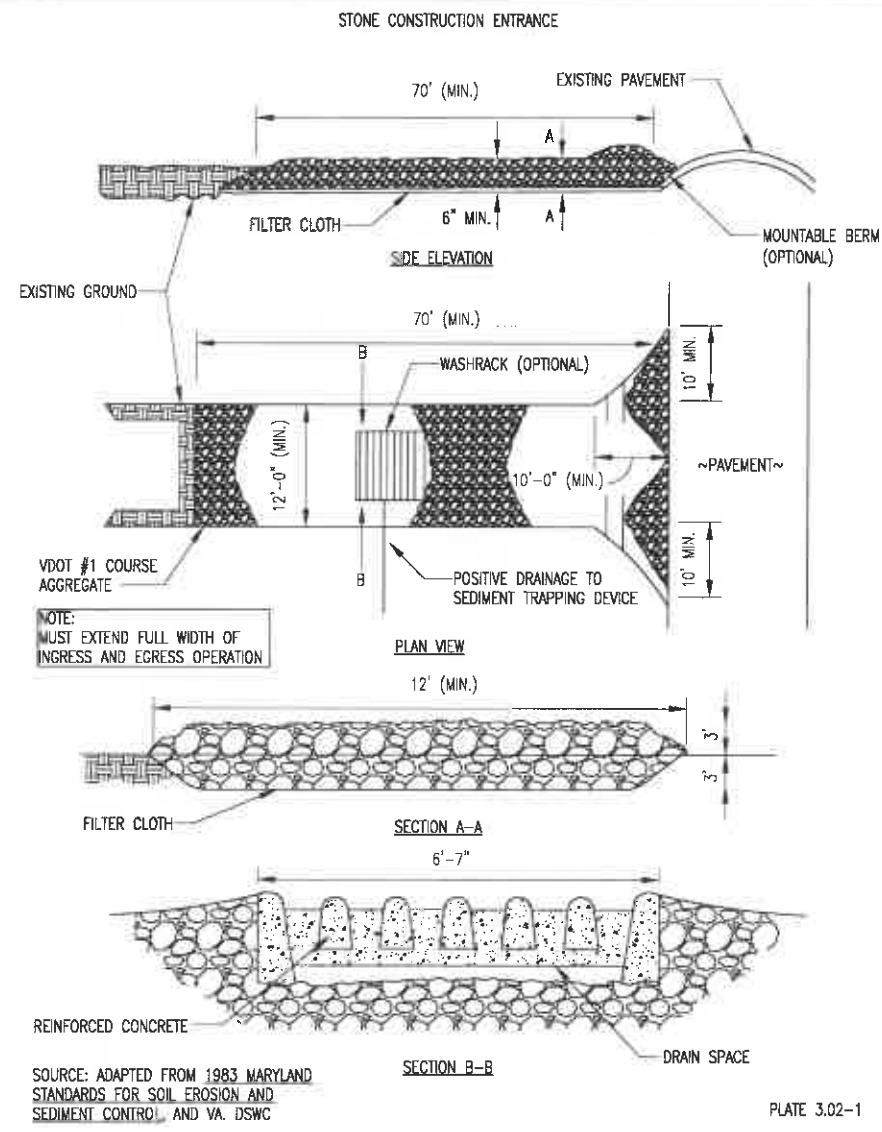
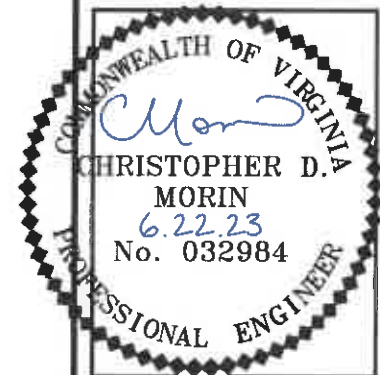
BUSINESS UNIT NUMBER

831969

SITE ADDRESS

5981 BERRY HILL ROAD
DANVILLE, VA 24069

SHEET TITLE
SILT FENCE DETAIL
& NOTES
SHEET NUMBER



NOTE: MUST EXTEND FULL WIDTH OF INGRESS AND EGRESS OPERATION

SOURCE: ADAPTED FROM 1983 MARYLAND STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL, AND VA. DSWC

CE CONSTRUCTION ENTRANCE STD 3.02

PLATE 3.02-1

DESIGN CRITERIA

AGGREGATE SIZE

VDOT #1 COARSE AGGREGATE (2- TO 3-INCH STONE) SHOULD BE USED.

ENTRANCE DIMENSIONS

THE AGGREGATE LAYER MUST BE AT LEAST 6 INCHES THICK; A MINIMUM THREE INCHES OF AGGREGATE SHOULD BE PLACED IN A CUT SECTION TO GIVE THE ENTRANCE ADDED STABILITY AND TO HELP SECURE FILTER CLOTH SEPARATOR. IT MUST EXTEND THE FULL WIDTH OF THE VEHICULAR INGRESS AND EGRESS AREA AND HAVE A MINIMUM 12-FOOT WIDTH. THE LENGTH OF THE ENTRANCE MUST BE AT LEAST 70 FEET (SEE PLATE 3.02-1)

WASHING

IF CONDITIONS ON THE SITE ARE SUCH THAT THE MAJORITY OF THE MUD IS NOT REMOVED BY THE VEHICLES TRAVELING OVER THE STONE, THEN THE TIRES OF THE VEHICLES MUST BE WASHED BEFORE ENTERING THE PUBLIC ROAD. WASH WATER MUST BE CARRIED AWAY FROM THE ENTRANCE TO A APPROVED SETTLING AREA TO REMOVE SEDIMENT. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING STORM DRAINS, DITCHES, OR WATERCOURSES. A WASH RACK MAY ALSO BE USED TO MAKE WASHING MORE CONVENIENT AND EFFECTIVE (SEE PLATE 3.02-1).

LOCATION

THE ENTRANCE SHOULD BE LOCATED TO PROVIDE FOR MAXIMUM UTILIZATION BY ALL CONSTRUCTION VEHICLES.

CONSTRUCTION SPECIFICATIONS

THE AREA OF THE ENTRANCE MUST BE EXCAVATED A MINIMUM OF 3 INCHES AND MUST BE CLEARED OF ALL VEGETATION, ROOTS, AND OTHER OBJECTIONABLE MATERIAL. THE FILTER FABRIC UNDERLINER WILL THEN BE PLACED THE FULL WIDTH AND LENGTH OF THE ENTRANCE.

FOLLOWING THE INSTALLATION OF THE FILTER CLOTH, THE STONE SHALL BE PLACED TO THE SPECIFIED DIMENSIONS. IF WASH RACKS ARE USED, THEY SHOULD BE INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS. ANY DRAINAGE FACILITIES REQUIRED BECAUSE OF WASHING SHOULD BE CONSTRUCTED ACCORDING TO SPECIFICATIONS. CONVEYANCE OF SURFACE WATER UNDER ENTRANCE, THROUGH CULVERTS, SHALL BE PROVIDED AS REQUIRED. IF SUCH CONVEYANCE IS IMPOSSIBLE, THE CONSTRUCTION OF A "MOUNTABLE" BERM WITH 5:1 SLOPES WILL BE PERMITTED.

THE FILTER CLOTH UTILIZED SHALL BE A WOVEN OR NONWOVEN FABRIC CONSISTING ONLY OF CONTINUOUS CHAIN POLYMERIC FILAMENTS OR YARNS OF POLYESTER. THE FABRIC SHALL BE INERT TO COMMONLY ENCOUNTERED CHEMICALS AND HYDROCARBONS, BE MILDEW AND ROT RESISTANT, AND CONFORM TO THE PHYSICAL PROPERTIES NOTED IN TABLE 3.02-A.

MAINTENANCE

THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE OR THE WASHING AND REWORKING OF EXISTING STONE AS CONDITIONS DEMAND AND REPAIR AND/ OR CLEANOUT OF ANY STRUCTURES USED TO TRAP SEDIMENT. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY. THE USE OF WATER TRUCKS TO REMOVE MATERIALS DROPPED, WASHED, OR TRACKED ONTO ROADWAYS WILL NOT BE PERMITTED UNDER ANY CIRCUMSTANCES.

TABLE 3.02-A
 CONSTRUCTION SPECIFICATIONS FOR FILTER CLOTH UNDERLINER

FABRIC PROPERTIES	CONSTRUCTION SPECIFICATIONS		TEST METHOD
	LIGHT-DUTY ENTRANCE ² (GRADED SUBGRADE)	HEAVY-DUTY ENTRANCE ³ (ROUGH GRADED)	
GRAB TENSILE STRENGTH (LBS.)	200	220	ASTM D1682
ELONGATION AT FAILURE (%)	50	220	ASTM D1682
MULLEN BURST STRENGTH (LBS.)	190	430	ASTM D3786
PUNCTURE STRENGTH (LBS.)	40	125	ASTM D751 (MODIFIED)
EQUIVALENT OPENING SIZE (MM)	40-80	40-80	U.S. STANDARD SIEVE CW-02215

- 1 FABRICS NOT MEETING THESE SPECIFICATIONS MAY BE USED ONLY WHEN DESIGN PROCEDURE AND SUPPORTING DOCUMENTATION ARE SUPPLIED TO DETERMINE AGGREGATE DEPTH AND FABRIC STRENGTH.
- 2 LIGHT DUTY ENTRANCE: SITES THAT HAVE BEEN GRADED TO SUBGRADE AND WHERE MOST TRAVEL WOULD BE SINGLE AXLE VEHICLES AND AN OCCASIONAL MULTI-AXLE TRUCK. EXAMPLES OF FABRICS WHICH CAN BE USED ARE: TREVIRA SPUNBOND 1115, MIRAFI LOOX, TYPAR 3401, OR EQUIVALENT.
- 3 HEAVY DUTY ENTRANCE: SITES WITH ONLY ROUGH GRADING AND WHERE MOST TRAVEL WOULD BE MULTI-AXLE VEHICLES. EXAMPLES OF FABRICS WHICH CAN BE USED ARE: TREVIRA SPUNBOND 1135, MIRAFI 600X, OR EQUIVALENT.

DEFINITION

A STABILIZED STONE PAD WITH A FILTER FABRIC UNDERLINER LOCATED AT POINTS OF VEHICULAR INGRESS AND EGRESS ON A CONSTRUCTION SITE.

PURPOSE

TO REDUCE THE AMOUNT OF MUD TRANSPORTED ONTO PAVED PUBLIC ROADS BY MOTOR VEHICLES OR RUNOFF.

CONDITIONS WHERE PRACTICE APPLIES

WHEREVER TRAFFIC WILL BE LEAVING A CONSTRUCTION SITE AND MOVE DIRECTLY ONTO A PUBLIC ROAD OR OTHER PAVED AREA.

PLANNING CONSIDERATIONS

MINIMUM STANDARD # 17 (MS # 17) REQUIRES THAT PROVISIONS BE MADE TO MINIMIZE THE TRANSPORT OF SEDIMENT BY VEHICULAR TRAFFIC ONTO A PAVED SURFACE. CONSTRUCTION ENTRANCES PROVIDE AN AREA WHERE A SIGNIFICANT AMOUNT OF MUD CAN BE REMOVED FROM CONSTRUCTION VEHICLE TIRES BEFORE THEY ENTER A PUBLIC ROAD AND, JUST AS IMPORTANT, THE SOIL ADJACENT TO THE PAVED SURFACE CAN BE KEPT INTACT. A FILTER FABRIC LINER IS USED AS A "SEPARATOR" TO MINIMIZE THE DISSIPATION OF AGGREGATE INTO THE UNDERLYING SOIL DUE TO CONSTRUCTION TRAFFIC LOADS. IF THE ACTION OF THE VEHICLES TRAVELING OVER THE GRAVEL PAD IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF THE MUD OR THERE EXISTS AN ESPECIALLY SENSITIVE TRAFFIC SITUATION ON THE ADJACENT PAVED ROAD, THE TIRES MUST BE WASHED BEFORE THE VEHICLE ENTERS THE PUBLIC ROAD. IF WASHING IS NECESSARY, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT SO IT CAN BE COLLECTED AND STABILIZED. CONSTRUCTION ENTRANCES SHOULD BE USED IN CONJUNCTION WITH THE STABILIZATION OF CONSTRUCTION ROADS (SEE STD. & SPEC. 3.03, CONSTRUCTION ROAD STABILIZATION) TO REDUCE THE AMOUNT OF MUD PICKED UP BY CONSTRUCTION VEHICLES AND TO DO A BETTER JOB OF MUD REMOVAL. OTHER INNOVATIVE TECHNIQUES FOR ACCOMPLISHING THE SAME PURPOSE (SUCH AS A BITUMINOUS ENTRANCE) CAN BE UTILIZED, BUT ONLY AFTER SPECIFIC PLANS AND DETAILS ARE SUBMITTED TO AND APPROVED BY THE APPROPRIATE PLAN-APPROVING AUTHORITY.

NOTE: ALL DETAILS ARE REFERENCED FROM THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK, THIRD EDITION, 1992 AND FIELD MANUAL, SECOND EDITION, 1995
 SEE E&S DRAWINGS FOR LOCATIONS OF EROSION AND SEDIMENT CONTROL STRUCTURAL PRACTICES

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 DANVILLE, VA 24069**

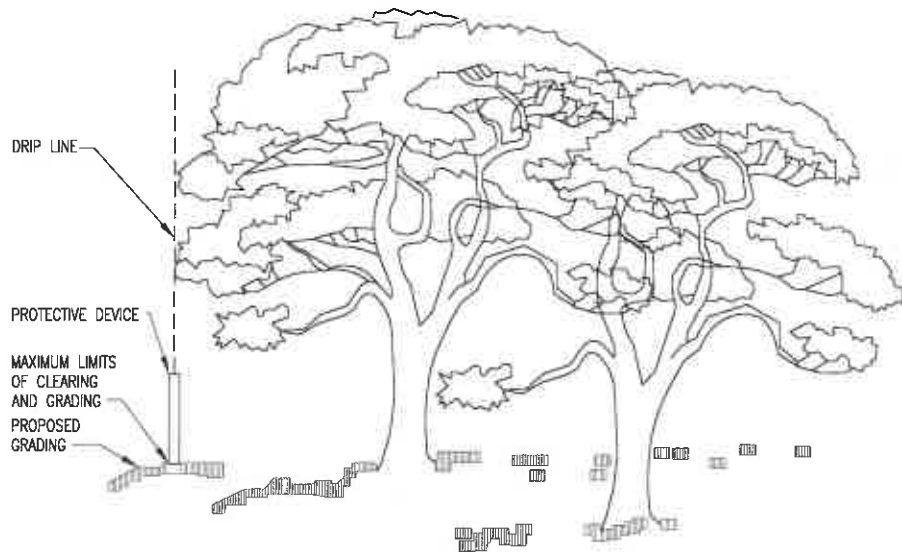
SHEET TITLE
E&S DETAIL & NOTES

SHEET NUMBER

TEMPORARY CONSTRUCTION ENTRANCE DETAIL & NOTES

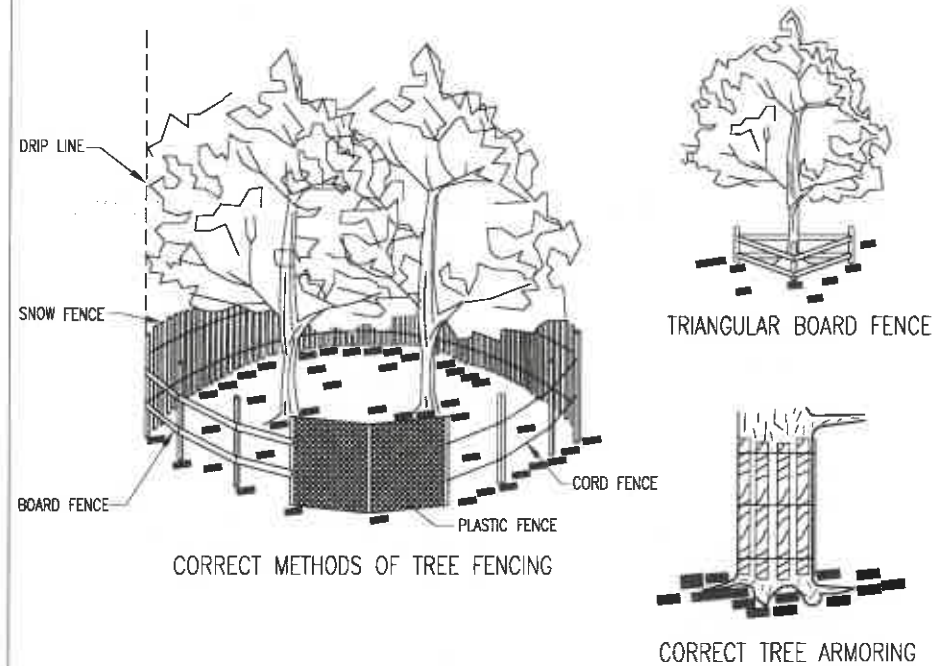
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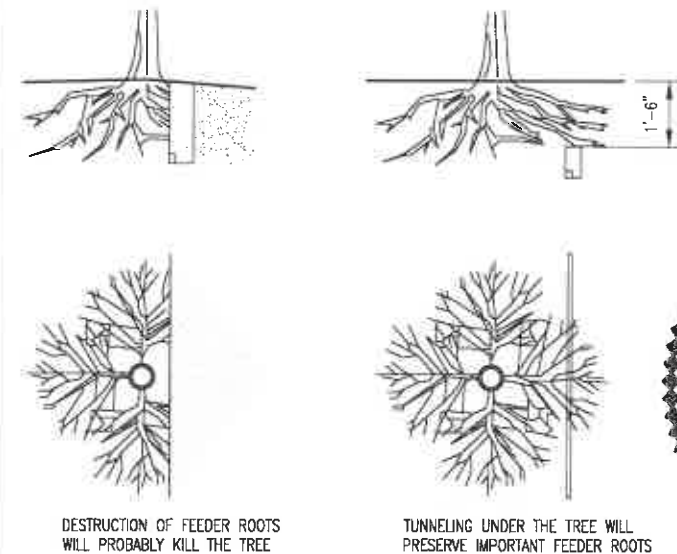


CONSTRUCTION OPERATIONS RELATIVE TO THE LOCATIONS OF PROTECTED TREES

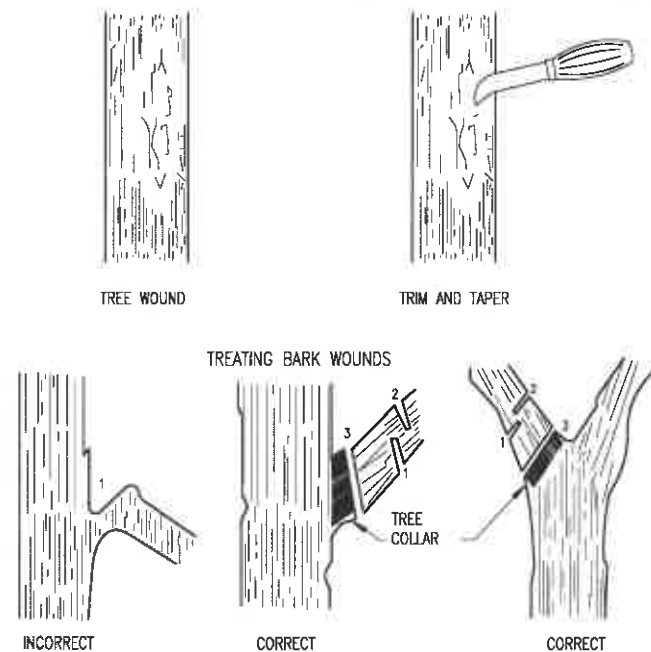
TREE FENCE DETAIL
SCALE: N.T.S.



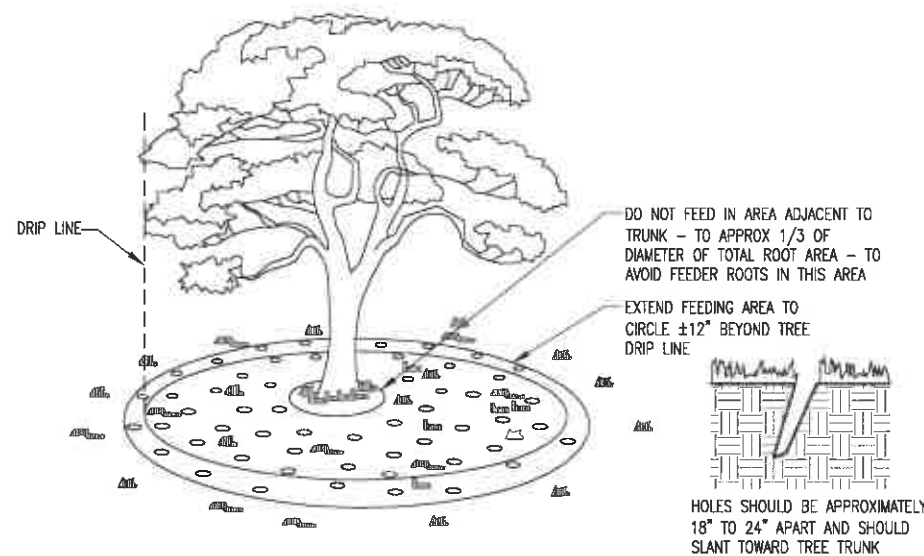
FENCING & ARMORING DETAIL
SCALE: N.T.S.



TRENCHING & TUNNELING DETAIL
SCALE: N.T.S.



PRUNING DAMAGED BRANCHES
TREE CARE DETAIL
SCALE: N.T.S.



TREE FERTILIZATION DETAIL
SCALE: N.T.S.

TREE PROTECTION NOTES

- TREES WITHIN 25' OF CONSTRUCTION SITE AND ASSOCIATED GRADING, PARKING AND UTILITY EXTENSIONS SHALL BE BOXED IN TO PREVENT MECHANICAL INJURY. THE BOX SHOULD BE AS CLOSE TO THE DRIP LINE OF THE TREE AS POSSIBLE.
- BOARDS SHALL NOT BE NAILED TO TREES DURING CONSTRUCTION OPERATIONS.
- HEAVY EQUIPMENT OPERATORS SHALL AVOID DAMAGE TO EXISTING TREE TRUNKS AND ROOTS DURING LAND LEVELING OPERATIONS. TUNNEL UNDER ROOT SYSTEMS WHEN INSTALLING UTILITY LINES, IF POSSIBLE.
- TREE TRUNKS AND EXPOSED ROOTS AND LIMBS DAMAGED DURING EQUIPMENT OPERATIONS SHALL BE CARED FOR AS PRESCRIBED BY THE PROJECT FORESTER OR LICENSED TREE EXPERT.
- WOOD CHIPS SHALL BE SPREAD TO A 4" DEPTH IN WOODED SITES TO HELP PREVENT SOIL COMPACTION AND DAMAGE TO TREES.
- THE USE OF HEAVY EQUIPMENT ON ROOT SYSTEMS OF DESIRABLE TREES SHALL BE AVOIDED TO PREVENT SOIL COMPACTION. ALL CONSTRUCTION SHALL BE KEPT OUTSIDE OF THE DRIP LINE OF THE PROTECTED TREES. PROTECTIVE FENCING SHALL BE UTILIZED FOR TREES BEING RETAINED. LOCATE PROTECTIVE FENCING 6" MIN BEYOND DRIP LINE.
- BROAD LEAF TREES SHALL RECEIVE A HEAVY APPLICATION OF COMPLETE FERTILIZER TO AID THEIR RECOVERY FROM POSSIBLE DAMAGE CAUSED BY CONSTRUCTION OPERATIONS. FERTILIZATION SHALL BE APPLIED DURING WINTER AND/OR EARLY SPRING FOLLOWING COMPLETION OF CONSTRUCTION. IT SHALL BE APPLIED AT THE GROUND LINE. FERTILIZER SHALL BE APPLIED IN HOLES 1" DIAMETER, 18" DEEP, SPACED @ 24" TO 12" PAST THE DRIP LINE OF THE PROTECTED TREES.
- FERTILIZER SHALL BE APPLIED AT THE RATE OF 2-4 LBS PER INCH OF TREE DIAMETER AT BREAST HEIGHT. FERTILIZER FORMULATION SHALL BE:

DECIDUOUS TREES	COMMERCIAL - 10-6-4
NARROW LEAF EVERGREEN GREATER THAN 6" DIAM	COMMERCIAL - 10-6-4
BROAD LEAF EVERGREEN	TANKAGE OR COTTONSEED MIX

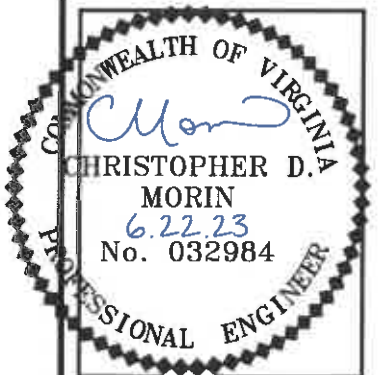
NOTE: ALL DETAILS ARE REFERENCED FROM THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK, THIRD EDITION, 1992
SEE E&S DRAWINGS FOR LOCATIONS OF EROSION AND SEDIMENT CONTROL STRUCTURAL PRACTICES

TP TREE PRESERVATION & PROTECTION - STD & SPEC 3.38

TEMPORARY CONSTRUCTION ENTRANCE DETAIL & NOTES

SCALE: N.T.S.

1



NO.	DATE	DESCRIPTION	BY	AGT	AGT	AGT	AGT
A	08-02-23	PRELIMINARY ZONING DRAWINGS					
B	08-13-23	PRELIMINARY ZONING DRAWINGS					
C	08-15-23	PRELIMINARY ZONING DRAWINGS					
D	08-21-23	PRELIMINARY ZONING DRAWINGS					
E	08-22-23	FINAL ZONING DRAWINGS					

DRAWN BY: AGT
CHECKED BY: BMQ
DRAWING DATE: 08/22/23

CARRIER'S NAME

SITE NUMBER:
SITE NAME:

SITE NAME
BERRY HILL

BUSINESS UNIT NUMBER

831969

SITE ADDRESS

5981 BERRY HILL ROAD
DANVILLE, VA 24069

SHEET TITLE
TREE PROTECTION
DETAILS & NOTES
SHEET NUMBER

G-5

DESCRIPTION

APPLICATION OF PLANT RESIDUES OR OTHER SUITABLE MATERIALS TO THE SOIL SURFACE, TO PREVENT EROSION BY PROTECTING THE SOIL SURFACE FROM RAINDROP IMPACT AND REDUCING THE VELOCITY OF OVERLAND FLOW AND TO FOSTER THE GROWTH OF VEGETATION BY INCREASING AVAILABLE MOISTURE AND PROVIDING INSULATION AGAINST EXTREME HEAT AND COLD.

CONDITIONS WHERE PRACTICE APPLIES

1. AREAS WHICH HAVE BEEN PERMANENTLY SEEDED (SEE STD. & SPEC. 3.32, PERMANENT SEEDING) SHOULD BE MULCHED IMMEDIATELY FOLLOWING SEEDING.
2. AREAS WHICH CANNOT BE SEEDED BECAUSE OF THE SEASON SHOULD BE MULCHED TO PROVIDE SOME PROTECTION TO THE SOIL SURFACE. AN ORGANIC MULCH SHOULD BE USED, AND THE AREA THEN SEEDED AS SOON WEATHER OR SEASONAL CONDITIONS PERMIT. IT IS NOT RECOMMENDED THAT FIBER MULCH BE USED ALONE FOR THIS PRACTICE; AT NORMAL APPLICATION RATES IT JUST SIMPLY DOES NOT PROVIDE THE PROTECTION THAT IS ACHIEVED USING OTHER TYPES OF MULCH.
3. MULCH MAY BE USED TOGETHER WITH PLANTINGS OF TREES, SHRUBS, OR CERTAIN GROUND COVERS WHICH DO NOT PROVIDE ADEQUATE SOIL STABILIZATION BY THEMSELVES.
4. MULCH SHALL BE USED IN CONJUNCTION WITH TEMPORARY SEEDING OPERATIONS AS SPECIFIED IN TEMPORARY SEEDING, STD. & SPEC. 3.31.

SPECIFICATIONS

ORGANIC MULCHES

ORGANIC MULCHES MAY BE USED IN ANY AREA WHERE MULCH IS REQUIRED, SUBJECT TO THE RESTRICTIONS NOTED IN TABLE 3.35-A.

MATERIALS: SELECT MULCH MATERIAL BASED ON SITE REQUIREMENTS, AVAILABILITY OF MATERIALS, AND AVAILABILITY OF LABOR AND EQUIPMENT. TABLE 3.35-A LISTS THE MOST COMMONLY USED ORGANIC MULCHES. OTHER MATERIALS, SUCH AS PEANUT HULLS AND COTTON BURS, MAY BE USED WITH THE PERMISSION OF THE LOCAL PLAN-APPROVING AUTHORITY.
PRIOR TO MULCHING: COMPLETE THE REQUIRED GRADING AND INSTALL NEEDED SEDIMENT CONTROL PRACTICES.

LIME AND FERTILIZER SHOULD BE INCORPORATED AND SURFACE ROUGHENING ACCOMPLISHED AS NEEDED. SEED SHOULD BE APPLIED PRIOR TO MULCHING EXCEPT IN THE FOLLOWING CASES:

- A. WHERE SEED IS TO BE APPLIED AS PART OF HYDROSEEDER SLURRY CONTAINING FIBER MULCH.
- B. WHERE SEED IS TO BE APPLIED FOLLOWING A STRAW MULCH SPREAD DURING WINTER MONTHS.

TABLE 3.35-A
ORGANIC MULCH MATERIALS AND APPLICATION RATES

MULCHES:	RATES:		NOTES:
	PER ACRE	PER 1000/SQ. FT.	
STRAW OR HAY	1 1/2 - 2 TONS (MIN. 2 TONS FOR WINTER COVER)	70-90 LBS.	FREE FROM WEEDS AND COARSE MATTER. MUST BE ANCHORED. SPREAD WITH MULCH BLOWER OR BY HAND.
FIBER MULCH	MINIMUM 1500 LBS.	35 LBS.	DO NOT USE AS MULCH FOR WINTER COVER OR DURING HOT, DRY PERIODS* APPLY AS SLURRY.
CORN STALKS	4-6 TONS	185-275 LBS.	FREE OF COARSE MATTER. AIR-DRIED. TREAT WITH 12 LBS. NITROGEN PER TON. DO NOT USE IN FINE TURF AREAS. APPLY WITH MULCH BLOWER OR BY HAND.
WOOD CHIPS	4-6 TONS	185-275 LBS.	FREE OF COARSE MATTER. AIR-DRIED. TREAT WITH 12 LBS. NITROGEN PER TON. DO NOT USE IN FINE TURF AREAS. APPLY WITH MULCH BLOWER OR BY HAND.
BARK CHIPS OR SHREDDED BARK	50-70 CU. YDS.	1-2 CU. YDS.	FREE OF COARSE MATTER. AIR-DRIED. TREAT WITH 12 LBS. NITROGEN PER TON. DO NOT USE IN FINE TURF AREAS. APPLY WITH MULCH BLOWER, CHIP HANDLER OR BY HAND.

* WHEN FIBER MULCH IS THE ONLY AVAILABLE MULCH DURING PERIODS WHEN STRAW SHOULD BE USED, APPLY AT A MINIMUM RATE OF 2000 LBS./AC OR 45 LBS./1000 SQ. FT.

APPLICATION: MULCH MATERIALS SHALL BE SPREAD UNIFORMLY, BY HAND OR MACHINE.

WHEN SPREADING STRAW MULCH BY HAND, DIVIDE THE AREA TO BE MULCHED INTO APPROXIMATELY 1,000 SQ. FT. SECTIONS AND PLACE 70-90 LBS. (1 1/2 TO 2 BALES) OF STRAW IN EACH SECTION TO FACILITATE UNIFORM DISTRIBUTION.

MULCH ANCHORING: STRAW MULCH MUST BE ANCHORED IMMEDIATELY AFTER SPREADING TO PREVENT DISPLACEMENT. OTHER ORGANIC MULCHES LISTED IN TABLE 3.35-A DO NOT REQUIRE ANCHORING. THE FOLLOWING METHODS OF ANCHORING STRAW MAY BE USED:

1. **MULCH ANCHORING TOOL (OFTEN REFERRED TO AS A KRIMPER OR KRIMPLER TOOL):** THIS IS A TRACTOR-DRAWN IMPLEMENT DESIGNED TO PUNCH MULCH INTO THE SOIL SURFACE. THIS METHOD PROVIDES GOOD EROSION CONTROL WITH STRAW. IT IS LIMITED TO USE ON SLOPES NO STEEPER THAN 3:1, WHERE EQUIPMENT CAN OPERATE SAFELY. MACHINERY SHALL BE OPERATED ON THE CONTOUR.
2. **FIBER MULCH:** A VERY COMMON PRACTICE WITH WIDESPREAD USE TODAY. APPLY FIBER MULCH BY MEANS OF A HYDROSEEDER AT A RATE OF 500-750 LBS./ACRE OVER TOP OF STRAW MULCH OR HAY. IT HAS AN ADDED BENEFIT OF PROVIDING ADDITIONAL MULCH TO THE NEWLY SEEDED AREA.
3. **LIQUID MULCH BINDERS:** APPLICATION OF LIQUID MULCH BINDERS AND TACKIFIERS SHOULD BE HEAVIEST AT EDGES OF AREAS AND AT CRESTS OF RIDGES AND BANKS, TO PREVENT DISPLACEMENT. THE REMAINDER OF THE AREA SHOULD HAVE BINDER APPLIED UNIFORMLY. BINDERS MAY BE APPLIED AFTER MULCH IS SPREAD OR MAY BE SPRAYED INTO THE MULCH AS IT IS BEING BLOWN ONTO THE SOIL.

THE FOLLOWING TYPES OF BINDERS MAY BE USED:

A. **SYNTHETIC BINDERS** - FORMULATED BINDERS OR ORGANICALLY FORMULATED PRODUCTS MAY BE USED AS RECOMMENDED BY THE MANUFACTURER TO ANCHOR MULCH.

*B. **ASPHALT** - ANY TYPE OF ASPHALT THIN ENOUGH TO BE BLOWN FROM SPRAY EQUIPMENT IS SATISFACTORY. RECOMMENDED FOR USE ARE RAPID CURING (RC-70, RC-250, RC- 800), MEDIUM CURING (MC-250, MC-800) AND EMULSIFIED ASPHALT (SS-1, CSS- 1, CMS-2, MS-2, RS-1, RS-2, CRS-1, AND CRS-2). APPLY ASPHALT AT 0.10 GALLON PER SQUARE YARD (10 GAL./1000 SQ.FT. OR 430 GAL./ACRE). DO NOT USE HEAVIER APPLICATIONS AS IT MAY CAUSE THE STRAW TO "PERCH" OVER RILLS. ALL ASPHALT DESIGNATIONS ARE FROM THE ASPHALT INSTITUTE SPECIFICATIONS.

* NOTE: THIS PARTICULAR METHOD IS NOT USED AS COMMONLY TODAY AS IT ONCE WAS IN THE PAST. THE DEVELOPMENT OF HYDRAULIC SEEDING EQUIPMENT PROMOTED THE INDUSTRY TO TURN TO SYNTHETIC OR ORGANICALLY BASED BINDERS AND TACKIFIERS. WHEN THIS METHOD IS USED, ENVIRONMENTAL CONCERNS SHOULD BE ADDRESSED TO ENSURE THAT PETROLEUM-BASED PRODUCTS DO NOT ENTER VALUABLE WATER SUPPLIES. AVOID APPLICATIONS INTO WATERWAYS OR CHANNELS.

4. **MULCH NETTINGS:** LIGHTWEIGHT PLASTIC, COTTON, OR PAPER NETS MAY BE STAPLED OVER THE MULCH ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.

5. **PEG AND TWINE:** BECAUSE IT IS LABOR-INTENSIVE, THIS METHOD IS FEASIBLE ONLY IN SMALL AREAS WHERE OTHER METHODS CANNOT BE USED. DRIVE 8- TO 10-INCH WOODEN PEGS TO WITHIN 3 INCHES OF THE SOIL SURFACE, EVERY 4 FEET IN ALL DIRECTIONS. STAKES MAY BE DRIVEN BEFORE OR AFTER STRAW IS SPREAD. SECURE MULCH BY STRETCHING TWINE BETWEEN PEGS IN A CRISS-CROSS-WITHIN-A SQUARE PATTERN. TURN TWINE 2 OR MORE TIMES AROUND EACH PEG.

CHEMICAL MULCHES

CHEMICAL MULCHES* MAY BE USED ALONE ONLY IN THE FOLLOWING SITUATIONS:

- A. WHERE NO OTHER MULCHING MATERIAL IS AVAILABLE.
- B. IN CONJUNCTION WITH TEMPORARY SEEDING DURING THE TIMES WHEN MULCH IS NOT REQUIRED FOR THAT PRACTICE.
- C. FROM MARCH 15 TO MAY 1 AND AUGUST 15 TO SEPTEMBER 30, PROVIDED THAT THEY ARE USED ON AREAS WITH SLOPES NO STEEPER THAN 4:1, WHICH HAVE BEEN ROUGHENED IN ACCORDANCE WITH SURFACE ROUGHENING, STD. & SPEC. 3.29. IF RILL EROSION OCCURS, ANOTHER MULCH MATERIAL SHALL BE APPLIED IMMEDIATELY.

* NOTE: CHEMICAL MULCHES MAY BE USED TO BIND OTHER MULCHES OR WITH FIBER MULCH IN A HYDROSEEDER SLURRY AT ANY TIME. MANUFACTURER'S RECOMMENDATIONS FOR APPLICATION OF CHEMICAL MULCHES SHALL BE FOLLOWED.

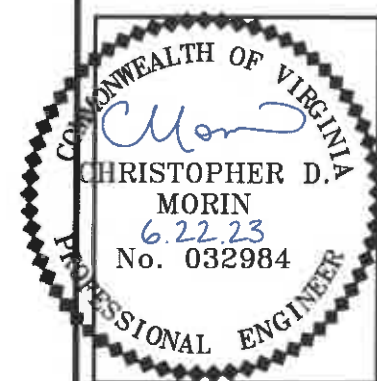
MAINTENANCE

ALL MULCHES AND SOIL COVERINGS SHOULD BE INSPECTED PERIODICALLY (PARTICULARLY AFTER RAINSTORMS) TO CHECK FOR EROSION. WHERE EROSION IS OBSERVED IN MULCHED AREAS, ADDITIONAL MULCH SHOULD BE APPLIED. NETS AND MATS SHOULD BE INSPECTED AFTER RAINSTORMS FOR DISLOCATION OR FAILURE. IF WASHOUTS OR BREAKAGE OCCUR, RE-INSTALL NETTING OR MATTING AS NECESSARY AFTER REPAIRING DAMAGE TO THE SLOPE OR DITCH. INSPECTIONS SHOULD TAKE PLACE UP UNTIL GRASSES ARE FIRMLY ESTABLISHED. WHERE MULCH IS USED IN CONJUNCTION WITH ORNAMENTAL PLANTINGS, INSPECT PERIODICALLY THROUGHOUT THE YEAR TO DETERMINE IF MULCH IS MAINTAINING COVERAGE OF THE SOIL SURFACE; REPAIR AS NEEDED.

MULCHING STD & SPEC 3.35

MULCHING NOTES

NOTE: ALL DETAILS ARE REFERENCED FROM THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK, THIRD EDITION, 1992 AND FIELD MANUAL, SECOND EDITION, 1995 SEE E&S DRAWINGS FOR LOCATIONS OF EROSION AND SEDIMENT CONTROL STRUCTURAL PRACTICES



REVISIONS	NO.	DATE	DESCRIPTION	BY	ACT
	A	06-02-23	PRELIMINARY ZONING DRAWINGS		
	B	06-13-23	PRELIMINARY ZONING DRAWINGS		
	C	06-15-23	PRELIMINARY ZONING DRAWINGS		
	D	06-21-23	PRELIMINARY ZONING DRAWINGS		
	E	06-22-23	FINAL ZONING DRAWINGS		

DRAWN BY: AGT
 CHECKED BY: BMQ
 DRAWING DATE: 06/22/23

CARRIER'S NAME: _____
 SITE NUMBER: _____
 SITE NAME: _____
 BERRY HILL
 BUSINESS UNIT NUMBER: _____
 631969
 SITE ADDRESS: _____
 5981 BERRY HILL ROAD
 DANVILLE, VA 24069

SHEET TITLE: **MULCHING NOTES**
 SHEET NUMBER: _____

SCALE: N.T.S.

FOR BC: INTERNAL USE ONLY; 06-12-23; AEGS 14-2828; C:\Users\james\Documents\BC\BERRY\BERRY\Drawings - 2023\Drawings - Berry Hill - Consult 8 - Mulch - Phosphorus County, VA_2023 - Rev 0/08.dwg

DESCRIPTION

THE ESTABLISHMENT OF A TEMPORARY VEGETATIVE COVER ON DISTURBED AREAS BY SEEDING WITH APPROPRIATE RAPIDLY GROWING ANNUAL PLANTS; EMPLOYED TO REDUCE EROSION AND SEDIMENTATION BY STABILIZING DISTURBED AREAS THAT WILL NOT BE BROUGHT TO FINAL GRADE FOR A PERIOD OF MORE THAN 14 DAYS, TO REDUCE DAMAGE FROM SEDIMENT AND RUNOFF TO DOWNSTREAM OR OFF-SITE AREAS, AND TO PROVIDE PROTECTION TO BARE SOILS EXPOSED DURING CONSTRUCTION UNTIL PERMANENT VEGETATION OR OTHER EROSION CONTROL MEASURES CAN BE ESTABLISHED.

CONDITIONS WHERE PRACTICE APPLIES

WHERE EXPOSED SOIL SURFACES ARE NOT TO BE FINE-GRADED FOR PERIODS LONGER THAN 30 DAYS. SUCH AREAS INCLUDE DENUDED AREAS, SOIL STOCKPILES, DIKES, DAMS, SIDES OF SEDIMENT BASINS, TEMPORARY ROADBANKS, ETC. (SEE MS #1 AND MS #2). A PERMANENT VEGETATIVE COVER SHALL BE APPLIED TO AREAS THAT WILL BE LEFT DORMANT FOR A PERIOD OF MORE THAN 1 YEAR.

SPECIFICATIONS

PRIOR TO SEEDING, INSTALL NECESSARY EROSION CONTROL PRACTICES SUCH AS DIKES, WATERWAYS, AND BASINS.

PLANT SELECTION

SELECT PLANTS THAT ARE APPROPRIATE TO THE SEASON AND SITE CONDITIONS. AN EXTENSIVE DESCRIPTION OF SOME OF THE PLANTS THAT ARE COMMONLY UTILIZED FOR TEMPORARY SEEDING CAN BE FOUND IN APPENDIX 3.31-A.

SEEDBED PREPARATION: TO CONTROL EROSION ON BARE SOIL SURFACES, PLANTS MUST BE ABLE TO GERMINATE AND SEEDBED PREPARATION IS ESSENTIAL.

- LIMING:** AN EVALUATION SHOULD BE CONDUCTED TO DETERMINE IF LIME IS NECESSARY FOR TEMPORARY SEEDING. IN MOST SOILS, IT TAKES UP TO 6 MONTHS FOR A PH ADJUSTMENT TO OCCUR FOLLOWING THE APPLICATION OF LIME. THEREFORE, IT MAY BE DIFFICULT TO JUSTIFY THE COST OF LIMING A TEMPORARY SITE, ESPECIALLY WHEN THE SOIL WILL LATER BE MOVED AND REGRADED. THE FOLLOWING TABLE MAY BE USED TO DETERMINE THE ACTUAL NEED ALONG WITH SUGGESTED APPLICATION RATES.

TABLE 3.31-A LIMING REQUIREMENTS FOR TEMPORARY SITES

PH TEST	RECOMMENDED APPLICATION OF AGRICULTURAL LIMESTONE
BELOW 4.2	3 TONS PER ACRE
4.2 TO 5.2	2 TONS PER ACRE
5.2 TO 6	1 TON PER ACRE
SOURCE: VA. DSWC	

- FERTILIZER:** SHALL BE APPLIED AS 600 LBS./ACRE OF 10-20-10 (14 LBS./1,000 SQ. FT.) OR EQUIVALENT NUTRIENTS. LIME AND FERTILIZER SHALL BE INCORPORATED INTO THE TOP 2 TO 4 INCHES OF THE SOIL IF POSSIBLE.
- SURFACE ROUGHENING:** IF THE AREA HAS BEEN RECENTLY LOOSENED OR DISTURBED, NO FURTHER ROUGHENING IS REQUIRED. WHEN THE AREA IS COMPACTED, CRUSTED, OR HARDENED, THE SOIL SURFACE SHALL BE LOOSENED BY DISCING, RAKING, HARROWING, OR OTHER ACCEPTABLE MEANS (SEE SURFACE ROUGHENING, STD. & SPEC. 3.29).
- TRACKING:** TRACKING WITH BULLDOZER CLEATS IS MOST EFFECTIVE ON SANDY SOILS. THIS PRACTICE OFTEN CAUSES UNDESIRABLE COMPACTION OF THE SOIL SURFACE, ESPECIALLY IN CLAYEY SOILS, AND DOES NOT AID PLANT GROWTH AS EFFECTIVELY AS OTHER METHODS OF SURFACE ROUGHENING.

SEEDING: SEED SHALL BE EVENLY APPLIED WITH A BROADCAST SEEDER, DRILL, CULTIPACKER SEEDER OR HYDROSEEDER. SMALL GRAINS SHALL BE PLANTED NO MORE THAN 1 1/2 INCHES DEEP. SMALL SEEDS, SUCH AS KENTUCKY BLUEGRASS, SHOULD BE PLANTED NO MORE THAN 1/4 INCH DEEP. OTHER GRASSES AND LEGUMES SHOULD BE PLANTED FROM 1/4 INCH TO 1/2 INCH DEEP.

MULCHING:

- SEEDINGS MADE IN FALL FOR WINTER COVER AND DURING HOT AND DRY SUMMER MONTHS SHALL BE MULCHED ACCORDING TO MULCHING, STD. & SPEC. 3.35, EXCEPT THAT HYDROMULCHES (FIBER MULCH) WILL NOT BE CONSIDERED ADEQUATE. STRAW MULCH SHOULD BE USED DURING THESE PERIODS.
- TEMPORARY SEEDINGS MADE UNDER FAVORABLE SOIL AND SITE CONDITIONS DURING OPTIMUM SPRING AND FALL SEEDING DATES MAY NOT REQUIRE MULCH.

RE-SEEDING: AREAS WHICH FAIL TO ESTABLISH VEGETATIVE COVER ADEQUATE TO PREVENT RILL EROSION WILL BE RE-SEEDED AS SOON AS SUCH AREAS ARE IDENTIFIED.

TABLE 3.31-B
ACCEPTABLE TEMPORARY SEEDING PLANT MATERIALS
"QUICK REFERENCE FOR ALL REGIONS"

PLANTING DATES	SPECIES	RATE (LBS./ACRE)
SEPT. 1 - FEB. 15	50/50 MIX OF ANNUAL RYEGRASS (LOLIUM MULTIFLORUM) & CEREAL (WINTER) RYE (SECALE CEREALE)	50 - 100
FEB. 16 - APR. 30	ANNUAL RYEGRASS (LOLIUM MULTIFLORUM)	60 - 100
MAY 1 - AUG. 31	GERMAN MILLET (SETARIA ITALICA)	50
SOURCE: VA. DSWC		

- OATS (AVENASATIVA):** A COOL SEASON ANNUAL GRASS PRIMARILY GROWN FOR ANIMAL FEED AND HUMAN CONSUMPTION, BUT ALSO USED FOR SOIL STABILIZATION. OATS ARE SEEDED IN EARLY SPRING IN THE WESTERN PART OF THE STATE (WINTER OATS MAY BE SOWN IN THE COASTAL PLAIN). SEEDING RATES ARE 3 BUSHELS (100 LBS.) PER ACRE BARE GROUND OR 2-1/2 LBS. PER 1000 SQUARE FEET.

- RYE (SECALE CEREALE):** OFTEN REFERRED TO AS WINTER RYE BECAUSE OF ITS WINTER HARDINESS, RYE IS THE MOST COMMON SMALL GRAIN USED FOR SOIL STABILIZATION. IT IS ALSO THE MOST PRODUCTIVE GRAIN ON DRY, INFERTILE, ACID OR SANDY SOILS. IT MAY BE SEEDED IN THE FALL FOR WINTER GROUND COVER. BY MATURING EARLY, IT OFFERS LESS COMPETITION DURING THE LATE SPRING PERIOD, A CRITICAL TIME IN THE ESTABLISHMENT OF PERENNIAL SPECIES. RYE GRAIN GERMINATES QUICKLY AND IS TOLERANT OF POOR SOILS.

INCLUDING RYE GRAIN IN FALL-SEEDED MIXTURES IS ALMOST ALWAYS ADVANTAGEOUS, BUT IT IS PARTICULARLY HELPFUL ON DIFFICULT AND ERODIBLE SOILS, ERODIBLE SLOPES OR WHEN SEEDING IS LATE. RATES UP TO 100 LBS. PER ACRE FOR BARE GROUND. OVERLY THICK STANDS OF RYE GRAIN WILL SUPPRESS THE GROWTH OF PERENNIAL SEEDLINGS. APPROXIMATELY 50 LBS. PER ACRE IS THE MAXIMUM FOR THIS PURPOSE AND, WHERE LUSH GROWTH IS EXPECTED, THAT RATE SHOULD EITHER BE CUT IN HALF OR TOTALLY ELIMINATED FROM THE MIXTURE.

- FOXTAIL MILLET (SETARIA ITALICA):** A WARM SEASON ANNUAL GRASS WHICH MAY BE USED FOR TEMPORARY COVER. GERMAN MILLET (VARIETY COMMONLY USED IN VIRGINIA) GERMINATES QUICKLY AND GOES TO SEED QUICKLY. THESE FEATURES MAKE IT AN EXCELLENT COMPANION GRASS FOR SUMMER SEEDINGS. IT DIES AT FIRST FROST. SEEDING RATES ARE UP TO 50 LBS. PER ACRE FOR TEMPORARY COVER. USE 10 TO 20 LBS. PER ACRE IN MIXES.

- ANNUAL RYE (LOLIUM MULTIFLORUM):** A COOL SEASON ANNUAL GRASS USED FOR TEMPORARY COVER OR AS A NURSE GRASS TO ALLOW FOR GERMINATION OF PERMANENT STANDS. MOST COMMONLY USED IN MIXES FOR EROSION CONTROL. PERFORMS WELL THROUGHOUT THE STATE IN NEUTRAL TO SLIGHTLY ACID SOILS. RATES UP TO 100 LBS. PER ACRE FOR TEMPORARY COVER. USE 10 TO 20 LBS. PER ACRE IN MIXES.

- ANNUAL LESPEDEZAS (LESPEDEZA STRIATA)**

USES: PASTURE, HAY, EROSION CONTROL, SOIL IMPROVEMENT, WILDLIFE FOOD.

DESCRIPTION: ANNUAL WARM SEASON LEGUMES. KOREAN LESPEDEZA IS LARGER AND COARSER THAN COMMON LESPEDEZA AND GROWS TO ABOUT 12 INCHES. SEED OF KOREAN IS SHINY AND BLACK, WHILE SEED OF COMMON IS STIPPLED. KOBE IS THE MOST DESIRABLE VARIETY OF COMMON LESPEDEZA.

ADAPTATION: THROUGHOUT VIRGINIA. OPTIMUM PH RANGE IS 6.0 TO 6.5; WILL GROW FROM 5.5 TO 7.0. WILL GROW IN SOIL TEXTURES RANGING FROM SANDS TO CLAYS AND THOUGH A WIDE RANGE OF FERTILITY CONDITIONS.

ESTABLISHMENT: SEED SHOULD ALWAYS BE INOCULATED. MAY BE SEEDED ALONE OR MIXED WITH GRASSES OR SMALL REQUIRES A FIRM SEEDBED; MAY BE BROADCAST OR DRILLED. SHOULD BE SEEDED IN EARLY SPRING AT 25 TO 40 LBS. PER ACRE OR ONE-HALF TO 1 LB. PER 1000 SQUARE FEET, DEPENDING ON USE. (USE LOWER FIGURE AS HALF THE SEEDING RATE OF ANY SPRING SEEDING WITH GRASS OR GRAIN). SHOULD NOT BE MOWED AT LESS THAN THREE INCHES. LESPEDEZA WILL NOT MAKE A LARGE CONTRIBUTION IN SOD GRASSES LIKE BLUEGRASS; THEY DO BEST IN OPEN SOD GRASSES LIKE TALL FESCUE.

SOURCES: SEED OF COMMON VARIETY (KOBE) AND KOREAN VARIETIES (CLIMAX, HARBIN AND ROWAN) ARE COMMERCIALY AVAILABLE.

- WEEPING LOVEGRASS (ERAGROSTIS CURVULA)**

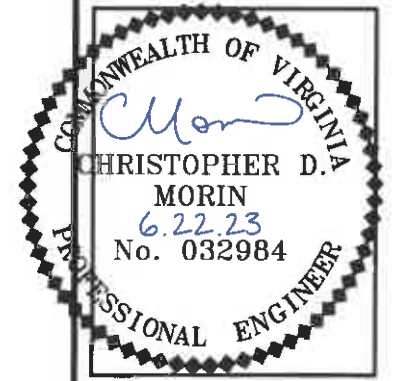
USES: FAST-GROWING COVER FOR EROSION CONTROL IN THE NORTHEAST, WEEPING LOVEGRASS ACTS AS A SUMMER THE NORMAL LIFE OF 3 TO 5 YEARS MAY BE FORESHORTENED BY LOW WINTER TEMPERATURES. MAY PROVIDE PERMANENT COVER ON SOUTHERN EXPOSURE.

DESCRIPTION: A RAPID-GROWING, WARM SEASON BUNCH GRASS INTRODUCED FROM EAST AFRICA. THE LONG, NARROW LEAVES ARE NUMEROUS, VERY FINE, AND DROOP OVER TO THE GROUND, HENCE THE NAME. LEAF HEIGHT IS RARELY ABOVE 12 INCHES.

ADAPTATION: PREFERENCES LIGHT-TEXTURED, WELL-DRAINED SOIL; WILL THRIVE ON SOIL OF LOW FERTILITY. LOW WINTER TEMPERATURES MAY DEplete STAND.

ESTABLISHMENT: EASY TO ESTABLISH BY SEED; GERMINATES RAPIDLY AND GROWS QUICKLY. LIME AND FERTILIZER NEEDS ARE SIMILAR TO THOSE OF TALL FESCUE AND RYEGRASS. REQUIRES PH OF 5.5 OR HIGHER. MAY BE PLANTED ANY TIME AFTER DANGER OF FROST AND THROUGHOUT THE SUMMER. VERY FINE SEED, COMMONLY ADDED TO EROSION CONTROL SEED MIXTURES. USE OF HYDROSEEDERS IS SUCCESSFUL IF THE SEEDING RATE IS INCREASED TO COMPENSATE FOR THE LACK OF A FIRM SEEDBED. NORMAL SEEDING RATES ARE 5 TO 20 LBS. PER ACRE IN MIXES.

SOURCES: READILY AVAILABLE FROM LARGE SEED COMPANIES.



NO.	DATE	DESCRIPTION	BY	ACT	ACT	ACT	ACT
			ACT	ACT	ACT	ACT	
A	06-02-23	PRELIMINARY ZONING DRAWINGS					
B	06-13-23	PRELIMINARY ZONING DRAWINGS					
C	06-15-23	PRELIMINARY ZONING DRAWINGS					
D	06-21-23	PRELIMINARY ZONING DRAWINGS					
E	06-22-23	FINAL ZONING DRAWINGS					

DRAWN BY: AGT
CHECKED BY: BMQ
DRAWING DATE: 06/22/23

CARRIER'S NAME

SITE NUMBER:
SITE NAME:

SITE NAME

BERRY HILL

BUSINESS UNIT NUMBER

831969

SITE ADDRESS

5981 BERRY HILL ROAD
DANVILLE, VA 24069

SHEET TITLE
TEMPORARY SEEDING NOTES
SHEET NUMBER

TS STD & SPEC 3.31 - TEMPORARY SEEDING

TEMPORARY SEEDING NOTES

NOTE: ALL DETAILS ARE REFERENCED FROM THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK, THIRD EDITION, 1992 AND FIELD MANUAL, SECOND EDITION, 1995
SEE E&S DRAWINGS FOR LOCATIONS OF EROSION AND SEDIMENT CONTROL STRUCTURAL PRACTICES

SCALE: N.T.S.

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DESCRIPTION

THE ESTABLISHMENT OF PERENNIAL VEGETATIVE COVER ON DISTURBED AREAS BY PLANTING SEED. IT IS UTILIZED FOR THE FOLLOWING:

1. TO REDUCE EROSION AND DECREASE SEDIMENT YIELD FROM DISTURBED AREAS.
2. TO PERMANENTLY STABILIZE DISTURBED AREAS IN A MANNER THAT IS ECONOMICAL, ADAPTABLE TO SITE CONDITIONS, AND ALLOWS SELECTION OF THE MOST APPROPRIATE PLANT MATERIALS.
3. TO IMPROVE WILDLIFE HABITAT.
4. TO ENHANCE NATURAL BEAUTY.

CONDITIONS WHERE PRACTICE APPLIES

1. DISTURBED AREAS WHERE PERMANENT, LONG-LIVED VEGETATIVE COVER IS NEEDED TO STABILIZE THE SOIL.
2. ROUGH-GRADED AREAS WHICH WILL NOT BE BROUGHT TO FINAL GRADE FOR A YEAR OR MORE.

SPECIFICATIONS

SELECTION OF PLANT MATERIALS

1. SELECTION OF PLANT MATERIALS IS BASED ON CLIMATE, TOPOGRAPHY, SOILS, LAND USE, AND PLANTING SEASON.
2. AN EXTENSIVE DESCRIPTION OF SOME OF THE PLANTS WHICH ARE COMMONLY UTILIZED FOR PERMANENT SEEDING CAN BE FOUND IN APPENDIX 3.32-C. PLATE 3.32-1 SHOWS PLANT HARDINESS ZONES FOR GRASSES AND LEGUMES FOR VIRGINIA'S TWO MAJOR CLIMATE REGIONS.
3. APPROPRIATE SEEDING MIXTURES FOR VARIOUS SITE CONDITIONS IN VIRGINIA ARE GIVEN IN TABLES 3.32-A, 3.32-B AND 3.32-C. THESE MIXTURES ARE DESIGNED FOR GENERAL USE, AND ARE KNOWN TO PERFORM WELL ON THE SITES DESCRIBED.
4. WHEN USING SOME VARIETIES OF TURFGRASSES, THE VIRGINIA CROP IMPROVEMENT ASSOCIATION (VICA) RECOMMENDED TURFGRASS MIXTURES MAY ALSO BE USED. CONSUMER PROTECTION PROGRAMS HAVE BEEN DEVISED TO IDENTIFY QUALITY SEED OF THE VARIETIES RECOMMENDED BY THE VIRGINIA COOPERATIVE EXTENSION SERVICE. THESE WILL BEAR A LABEL INDICATING THAT THEY ARE APPROVED BY THE ASSOCIATION. MIXTURES MAY BE DESIGNED FOR A SPECIFIC PHYSIOGRAPHIC REGION OR BASED ON INTENDED USE. SPECIAL CONSIDERATION IS GIVEN TO PLANT CHARACTERISTICS, PERFORMANCE, ETC.

TABLE 3.32-C
SITE SPECIFIC SEEDING MIXTURES
FOR APPALACHIAN/MOUNTAIN AREA

MINIMUM CARE LAWN	TOTAL LBS. PER ACRE
- COMMERCIAL OR RESIDENTIAL	200-250 LBS.
- KENTUCKY 31 OR TURF-TYPE TALL FESCUE	90-100%
- IMPROVED PERENNIAL RYEGRASS	0-10%
- KENTUCKY BLUEGRASS	0-10%
HIGH-MAINTENANCE LAWN	
MINIMUM OF THREE (3) UP TO FIVE (5) VARIETIES OF BLUEGRASS FROM APPROVED LIST FOR USE IN VIRGINIA.	125 LBS.
GENERAL SLOPE (3:1 OR LESS)	
- KENTUCKY 31 FESCUE	128 LBS.
- RED TOP GRASS	2 LBS.
- SEASONAL NURSE CROP **	20 LBS.
	150 LBS.
LOW-MAINTENANCE SLOPE (STEEPER THAN 3:1)	
- KENTUCKY 31 FESCUE	108 LBS.
- RED TOP GRASS	2 LBS.
- SEASONAL NURSE CROP **	20 LBS.
- CROWN VETCH ***	20 LBS.
	150 LBS.

*PERENNIAL RYEGRASS WILL GERMINATE FASTER AND AT LOWER SOIL TEMPERATURES THAN FESCUE, THEREBY PROVIDING COVER AND EROSION RESISTANCE FOR SEEDBED.

** USE SEASONAL NURSE CROP IN ACCORDANCE WITH SEEDING DATES AS STATED BELOW:

MARCH, APRIL THROUGH MAY 15TH.....ANNUAL RYE
MAY 16TH THROUGH AUGUST 15TH.....FOXTAIL MILLET
AUGUST 16TH THROUGH SEPTEMBER, OCTOBER.....ANNUAL RYE
NOVEMBER THROUGH FEBRUARY..... WINTER RYE

***IF FLATPEA IS USED, INCREASE TO 30 LBS./ACRE. ALL LEGUME SEED MUST BE PROPERLY INOCULATED. WEEPING LOVEGRASS MAY ALSO BE INCLUDED IN ANY SLOPE OR LOW-MAINTENANCE MIXTURE DURING WARMER SEEDING PERIODS; ADD 10-20 LBS./ACRE IN MIXES.

TABLE 3.32-D
SITE SPECIFIC SEEDING MIXTURES FOR
PIEDMONT AREA

MINIMUM CARE LAWN	TOTAL LBS. PER ACRE
- COMMERCIAL OR RESIDENTIAL	175-200 LBS.
- KENTUCKY 31 OR TURF-TYPE TALL FESCUE	95-100%
- IMPROVED PERENNIAL RYEGRASS	0-5%
- KENTUCKY BLUEGRASS	0-5%
HIGH-MAINTENANCE LAWN	200-250 LBS.
-KENTUCKY 31 OR TURF-TYPE TALL FESCUE	100%
GENERAL SLOPE (3:1 OR LESS)	
- KENTUCKY 31 FESCUE	128 LBS.
- RED TOP GRASS	2 LBS.
- SEASONAL NURSE CROP *	20 LBS.
LOW-MAINTENANCE SLOPE (STEEPER THAN 3:1)	
- KENTUCKY 31 FESCUE	108 LBS.
- RED TOP GRASS	2 LBS.
- SEASONAL NURSE CROP *	20 LBS.
- CROWN VETCH **	20 LBS.
	150 LBS.

*USE SEASONAL NURSE CROP IN ACCORDANCE WITH SEEDING DATES AS STATED BELOW:
FEBRUARY 16TH THROUGH APRIL.....ANNUAL RYE
MAY 1ST THROUGH AUGUST 15TH.....FOXTAIL MILLET
AUGUST 16TH THROUGH OCTOBER.....ANNUAL RYE
NOVEMBER THROUGH FEBRUARY 15TH.....WINTER RYE
**SUBSTITUTE SERICEA LESPEDEZA FOR CROWN VETCH EAST OF FARMVILLE, VA.
(MAY THROUGH SEPTEMBER USE HULLED SERICEA, ALL OTHER PERIODS, USE UNHULLED SERICEA).
IF FLATPEA IS USED IN LIEU OF CROWN VETCH, INCREASE RATE TO 30 LBS./ACRE. ALL LEGUME SEED MUST BE PROPERLY INOCULATED. WEEPING LOVEGRASS MAY BE ADDED TO ANY SLOPE OR LOW-MAINTENANCE MIX DURING WARMER SEEDING PERIODS; ADD 10-20 LBS./ACRE IN MIXES.

TABLE 3.32-D
SITE SPECIFIC SEEDING MIXTURES FOR
COASTAL PLAIN AREA

MINIMUM CARE LAWN	TOTAL LBS. PER ACRE
- COMMERCIAL OR RESIDENTIAL	175-200 LBS.
- KENTUCKY 31 OR TURF-TYPE TALL FESCUE	OR
- COMMON BLUEGRASS**	75 LBS.
HIGH-MAINTENANCE LAWN	
- KENTUCKY 31 OR TURF-TYPE TALL FESCUE	200-250 LBS.
OR	
- HYBRID BERMUDAGRASS (SEED)**	40 LBS. (UNHULLED)
OR	
- HYBRID BERMUDAGRASS (BY OTHER VEGETATIVE ESTABLISHMENT METHOD, SEE STD. & SPEC. 3.34)	30 LBS. (UNHULLED)
GENERAL SLOPE (3:1 OR LESS)	
- KENTUCKY 31 FESCUE	128 LBS.
- RED TOP GRASS	2 LBS.
- SEASONAL NURSE CROP *	20 LBS.
	150 LBS.
LOW MAINTENANCE SLOPE (STEEPER THAN 3:1)	
- KENTUCKY 31 TALL FESCUE	93-108 LBS.
- COMMON BERMUDAGRASS **	0-15 LBS.
- RED TOP GRASS	2 LBS.
- SEASONAL NURSE CROP *	20 LBS.
- SERICEA LESPEDEZA **	20 LBS.
	150 LBS.

* USE SEASONAL NURSE CROP IN ACCORDANCE WITH SEEDING DATES AS STATED BELOW:
FEBRUARY, MARCH THROUGH APRIL.....ANNUAL RYE
MAY 1ST THROUGH AUGUST.....FOXTAIL MILLET
SEPTEMBER, OCTOBER THROUGH NOVEMBER 15TH.....ANNUAL RYE
NOVEMBER 16TH THROUGH JANUARY.....WINTER RYE

** MAY THROUGH OCTOBER, USE HULLED SEED. ALL OTHER SEEDING PERIODS, USE UNHULLED SEED. WEEPING LOVEGRASS MAY BE ADDED TO ANY SLOPE OR LOW-MAINTENANCE MIX DURING WARMER SEEDING PERIODS; ADD 10-20 LBS./ACRE IN MIXES.

SEEDBED REQUIREMENTS: VEGETATION SHOULD NOT BE ESTABLISHED ON SLOPES THAT ARE UNSUITABLE DUE TO INAPPROPRIATE SOIL TEXTURE, POOR INTERNAL STRUCTURE OR INTERNAL DRAINAGE, VOLUME OF OVERLAND FLOW, OR EXCESSIVE STEEPNESS, UNTIL MEASURES HAVE BEEN TAKEN TO CORRECT THESE PROBLEMS.

TO MAINTAIN A GOOD STAND OF VEGETATION, THE SOIL MUST MEET CERTAIN MINIMUM REQUIREMENTS AS A GROWTH MEDIUM. THE EXISTING SOIL MUST HAVE THESE CHARACTERISTICS:

1. ENOUGH FINE-GRAINED MATERIAL TO MAINTAIN ADEQUATE MOISTURE AND NUTRIENT SUPPLY.
2. SUFFICIENT PORE SPACE TO PERMIT ROOT PENETRATION. A BULK DENSITY OF 1.2 TO 1.5 INDICATES THAT SUFFICIENT PORE SPACE IS PRESENT. A FINE GRANULAR OR CRUMB-LIKE STRUCTURE IS ALSO FAVORABLE.
3. SUFFICIENT DEPTH OF SOIL TO PROVIDE AN ADEQUATE ROOT ZONE. THE DEPTH TO ROCK OR IMPERMEABLE LAYERS SUCH AS HARDPANS SHALL BE 12 INCHES OR MORE, EXCEPT ON SLOPES STEEPER THAN 2:1 WHERE THE ADDITION OF SOIL IS NOT FEASIBLE.
4. A FAVORABLE PH RANGE FOR PLANT GROWTH. IF THE SOIL IS SO ACIDIC THAT A PH RANGE OF 6.0-7.0 CANNOT BE ATTAINED BY ADDITION OF PH-MODIFYING MATERIALS, THEN THE SOIL IS CONSIDERED AN UNSUITABLE ENVIRONMENT FOR PLANT ROOTS AND FURTHER SOIL MODIFICATION WOULD BE REQUIRED.
5. FREEDOM FROM TOXIC AMOUNTS OF MATERIALS HARMFUL TO PLANT GROWTH.
6. FREEDOM FROM EXCESSIVE QUANTITIES OF ROOTS, BRANCHES, LARGE STONES, LARGE CLOUDS OF EARTH, OR TRASH OF ANY KIND. CLOUDS AND STONES MAY BE LEFT ON SLOPES STEEPER THAN 3:1 IF THEY DO NOT SIGNIFICANTLY IMPEDE GOOD SEED SOIL CONTACT.

IF ANY OF THE ABOVE CRITERIA CANNOT BE MET, I.E., IF THE EXISTING SOIL IS TOO COARSE, DENSE, SHALLOW, ACIDIC, OR CONTAMINATED TO FOSTER VEGETATION, THEN TOPSOIL SHALL BE APPLIED IN ACCORDANCE WITH TOPSOILING, STD. & SPEC. 3.30.

NECESSARY STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE INSTALLED PRIOR TO SEEDING. GRADING WILL BE CARRIED OUT ACCORDING TO THE APPROVED PLAN. SURFACES WILL BE ROUGHENED IN ACCORDANCE WITH SURFACE ROUGHENING, STD. & SPEC. 3.29.

SOIL CONDITIONERS

IN ORDER TO MODIFY THE TEXTURE, STRUCTURE, OR DRAINAGE CHARACTERISTICS OF A SOIL, THE FOLLOWING MATERIALS MAY BE ADDED TO THE SOIL:

1. **PEAT:** IS A VERY COSTLY CONDITIONER, BUT WORKS WELL. IF ADDED, IT SHALL BE SPHAGNUM MOSS PEAT, HYPNUM MOSS PEAT, REED-SEDGE PEAT OR PEAT HUMUS, FROM FRESH-WATER SOURCES. PEAT SHALL BE SHREDDED AND CONDITIONED IN STORAGE PILES FOR AT LEAST SIX MONTHS AFTER EXCAVATION.
2. **SAND:** SHALL BE CLEAN AND FREE OF TOXIC MATERIALS. SAND MODIFICATION IS INEFFECTIVE UNLESS YOU ARE ADDING 80 TO 90% SAND ON A VOLUME BASIS. THIS IS EXTREMELY DIFFICULT TO DO ON-SITE. IF THIS PRACTICE IS CONSIDERED, CONSULT A PROFESSIONAL AUTHORITY TO ENSURE THAT IT IS DONE PROPERLY.
3. **VERMICULITE:** SHALL BE HORTICULTURAL GRADE AND FREE OF TOXIC SUBSTANCES. IT IS AN IMPRACTICAL MODIFIER FOR LARGER ACREAGE DUE TO EXPENSE.
4. **RAW MANURE:** IS MORE COMMONLY USED IN AGRICULTURAL APPLICATIONS. HOWEVER, WHEN STORED PROPERLY AND ALLOWED TO COMPOST, IT WILL STABILIZE NITROGEN AND OTHER NUTRIENTS. MANURE, IN ITS COMPOSTED FORM, IS A VIABLE SOIL CONDITIONER; HOWEVER, ITS USE SHOULD BE BASED ON SITE-SPECIFIC RECOMMENDATIONS OFFERED BY A PROFESSIONAL IN THIS FIELD.
5. **THOROUGHLY ROTTED SAWDUST** SHALL HAVE 6 POUNDS OF NITROGEN ADDED TO EACH CUBIC YARD AND SHALL BE FREE OF STONES, STICKS, AND TOXIC SUBSTANCES.
6. THE USE OF **TREATED SEWAGE SLUDGE** HAS BENEFITED FROM CONTINUING ADVANCEMENTS IN ITS APPLICATIONS IN THE AGRICULTURAL COMMUNITY. WHEN COMPOSTED, IT OFFERS AN ALTERNATIVE SOIL AMENDMENT. LIMITATIONS INCLUDE A POTENTIALLY UNDESIRABLE PH (BECAUSE OF LIME ADDED DURING THE TREATMENT PROCESS) AND THE POSSIBLE PRESENCE OF HEAVY METALS. THIS PRACTICE SHOULD BE THOROUGHLY EVALUATED BY A PROFESSIONAL AND BE USED IN ACCORDANCE WITH ANY LOCAL, STATE, AND FEDERAL REGULATIONS.

LIME AND FERTILIZER: LIME AND FERTILIZER NEEDS SHOULD BE DETERMINED BY SOIL TESTS. SOIL TESTS MAY BE PERFORMED BY THE COOPERATIVE EXTENSION SERVICE SOIL TESTING LABORATORY AT VPI & SU, OR BY A REPUTABLE COMMERCIAL LABORATORY. INFORMATION CONCERNING THE STATE SOIL TESTING LABORATORY IS AVAILABLE FROM COUNTY EXTENSION AGENTS.

UNDER UNUSUAL CONDITIONS WHERE IT IS NOT POSSIBLE TO OBTAIN A SOIL TEST, THE FOLLOWING SOIL AMENDMENTS WILL BE APPLIED:

LIME:

COASTAL PLAIN: 2 TONS/ACRE PULVERIZED AGRICULTURAL GRADE LIMESTONE (90 LBS./1000 SQ. FT.).

PIEDMONT AND APPALACHIAN REGION: 2 TONS/ACRE PULVERIZED AGRICULTURAL GRADE LIMESTONE (90 LBS./1000 SQ. FT.).

NOTE: AN AGRICULTURAL GRADE OF LIMESTONE SHOULD ALWAYS BE USED.

FERTILIZER:

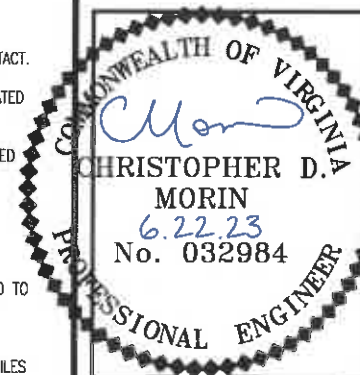
MIXED GRASSES AND LEGUMES: 1000 LBS./ACRE 10-20-10 OR EQUIVALENT NUTRIENTS (23 LBS./1000 SQ. FT.).

LEGUME STANDS ONLY: 1000 LBS./ACRE 5-20-10 (23 LBS./1000 SQ. FT.) IS PREFERRED; HOWEVER, 1000 LBS./ACRE OF 10-20-10 OR EQUIVALENT MAY BE USED.

GRASS STANDS ONLY: 1000 LBS./ACRE 10-20-10 OR EQUIVALENT NUTRIENTS, (23 LBS./1000 SQ. FT.). OTHER FERTILIZER FORMULATIONS, INCLUDING SLOW-RELEASE SOURCES OF NITROGEN (PREFERRED FROM A WATER QUALITY STANDPOINT), MAY BE USED PROVIDED THEY CAN SUPPLY THE SAME AMOUNTS AND PROPORTIONS OF PLANT NUTRIENTS.

INCORPORATION: LIME AND FERTILIZER SHALL BE INCORPORATED INTO THE TOP 4-6 INCHES OF THE SOIL BY DISCING OR OTHER MEANS WHENEVER POSSIBLE. FOR EROSION CONTROL, WHEN APPLYING LIME AND FERTILIZER WITH A HYDROSEEDER, APPLY TO A ROUGH, LOOSE SURFACE.

NOTE: ALL DETAILS ARE REFERENCED FROM THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK, THIRD EDITION, 1992 AND FIELD MANUAL, SECOND EDITION, 1995
SEE E&S DRAWINGS FOR LOCATIONS OF EROSION AND SEDIMENT CONTROL STRUCTURAL PRACTICES



NO.	DATE	DESCRIPTION	BY	ACT	ACT	ACT	ACT	ACT
A	08-02-23	PRELIMINARY ZONING DRAWINGS						
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DRAWN BY: AGT
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SITE NUMBER:

SITE NAME:

SITE NAME

BERRY HILL

BUSINESS UNIT NUMBER

831969

SITE ADDRESS

5981 BERRY HILL ROAD
DANVILLE, VA 24069

SHEET TITLE

PERMANENT SEEDING
NOTES (1 OF 3)

SHEET NUMBER

PS STD & SPEC 3.32 - PERMANENT SEEDING

PERMANENT SEEDING NOTES

SEEDING:

- 1. CERTIFIED SEED: WILL BE USED FOR ALL PERMANENT SEEDING WHENEVER POSSIBLE. CERTIFIED SEED IS INSPECTED BY THE VIRGINIA CROP IMPROVEMENT ASSOCIATION OR THE CERTIFYING AGENCY IN OTHER STATES. THE SEED MUST MEET PUBLISHED STATE STANDARDS AND BEAR AN OFFICIAL "CERTIFIED SEED" LABEL (SEE APPENDIX 3.32-A).

OFTEN HYDROSEEDING CONTRACTORS PREFER NOT TO APPLY LIME IN THEIR RIGS AS IT IS ABRASIVE. IN INACCESSIBLE AREAS, LIME MAY HAVE TO BE APPLIED SEPARATELY IN PELLETTIZED OR LIQUID FORM. SURFACE ROUGHENING IS PARTICULARLY IMPORTANT WHEN HYDROSEEDING, AS A ROUGHENED SLOPE WILL PROVIDE SOME NATURAL COVERAGE OF LIME, FERTILIZER AND SEED.

LEGUME INOCULANTS: SHOULD BE APPLIED AT FIVE TIMES THE RECOMMENDED RATE WHEN INOCULANT IS INCLUDED IN THE HYDROSEEDER SLURRY.

MULCHING: ALL PERMANENT SEEDING MUST BE MULCHED IMMEDIATELY UPON COMPLETION OF SEED APPLICATION. REFER TO MULCHING, STD. & SPEC. 3.35.

MAINTENANCE OF NEW SEEDINGS

IN GENERAL, A STAND OF VEGETATION CANNOT BE DETERMINED TO BE FULLY ESTABLISHED UNTIL IT HAS BEEN MAINTAINED FOR ONE FULL YEAR AFTER PLANTING.

IRRIGATION: NEW SEEDINGS SHOULD BE SUPPLIED WITH ADEQUATE MOISTURE. SUPPLY WATER AS NEEDED, ESPECIALLY LATE IN THE SEASON, IN ABNORMALLY HOT OR DRY WEATHER, OR ON ADVERSE SITES. WATER APPLICATION RATES SHOULD BE CONTROLLED TO PREVENT EXCESSIVE RUNOFF. INADEQUATE AMOUNTS OF WATER MAY BE MORE HARMFUL THAN NO WATER.

RE-SEEDING: INSPECT SEEDED AREAS FOR FAILURE AND MAKE NECESSARY REPAIRS AND RE-SEEDINGS WITHIN THE SAME SEASON, IF POSSIBLE.

A. IF VEGETATIVE COVER IS INADEQUATE TO PREVENT RILL EROSION, OVER-SEED AND FERTILIZE IN ACCORDANCE WITH SOIL TEST RESULTS.

B. IF A STAND HAS LESS THAN 40% COVER, RE-EVALUATE CHOICE OF PLANT MATERIALS AND QUANTITIES OF LIME AND FERTILIZER. THE SOIL MUST BE TESTED TO DETERMINE IF ACIDITY OR NUTRIENT IMBALANCES ARE RESPONSIBLE. RE-ESTABLISH THE STAND FOLLOWING SEEDBED PREPARATION AND SEEDING RECOMMENDATIONS.

FERTILIZATION: COOL SEASON GRASSES SHOULD BEGIN TO BE FERTILIZED 90 DAYS AFTER PLANTING TO ENSURE PROPER STAND AND DENSITY. WARM SEASON FERTILIZATION SHOULD BEGIN AT 30 DAYS AFTER PLANTING.

APPLY MAINTENANCE LEVELS OF FERTILIZER AS DETERMINED BY SOIL TEST. IN THE ABSENCE OF A SOIL TEST, FERTILIZATION SHOULD BE AS FOLLOWS:

COOL SEASON GRASSES

- 4 LBS. NITROGEN (N)
- 1 LB. PHOSPHORUS (P)???/1000 SQ. FT. PER YEAR
- 2 LBS. POTASH (K)

SEVENTY-FIVE PERCENT OF THE TOTAL REQUIREMENTS SHOULD BE APPLIED BETWEEN SEPTEMBER 1 AND DECEMBER 31ST. THE BALANCE SHOULD BE APPLIED DURING THE REMAINDER OF THE YEAR.

MORE THAN 1 LB. OF SOLUBLE NITROGEN PER 1000 SQ. FT. SHOULD NOT BE APPLIED AT ANY ONE TIME.

WARM SEASON GRASSES:

- 1. APPLY 4-5 LBS. NITROGEN (N) BETWEEN MAY 1 AND AUGUST 15TH PER 1000 SQ. FT. PER YEAR.
- 2. PHOSPHORUS (P) AND POTASH (K) SHOULD ONLY BE APPLIED ACCORDING TO SOIL TEST.

NOTE: THE USE OF SLOW-RELEASE FERTILIZER FORMULATIONS FOR MAINTENANCE OF TURF IS ENCOURAGED TO REDUCE THE NUMBER OF APPLICATIONS AND THE IMPACT ON GROUNDWATER.

ADDITIONAL INFORMATION ON THE SUCCESSFUL ESTABLISHMENT OF GRASSES AND LEGUMES SEE APPENDIX 3.32-B FOR "HELPFUL HINTS" IN ACHIEVING HIGH SUCCESS RATES IN GRASS OR LEGUME PLANTINGS.

PS STD & SPEC 3.32 - PERMANENT SEEDING

NOTE: ALL DETAILS ARE REFERENCED FROM THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK, THIRD EDITION, 1992 AND FIELD MANUAL, SECOND EDITION, 1995 SEE E&S DRAWINGS FOR LOCATIONS OF EROSION AND SEDIMENT CONTROL STRUCTURAL PRACTICES

APPENDIX 3.32-A SEED QUALITY CRITERIA

WHERE CERTIFIED SEED IS NOT AVAILABLE, THE MINIMUM REQUIREMENTS FOR GRASS AND LEGUME SEED USED IN VEGETATIVE ESTABLISHMENT ARE AS FOLLOWS:

- A. ALL TAGS ON CONTAINERS OF SEED SHALL BE LABELED TO MEET THE REQUIREMENTS OF THE STATE SEED LAW.
- B. ALL SEED SHALL BE SUBJECT TO RE-TESTING BY A RECOGNIZED SEED LABORATORY THAT EMPLOYS A REGISTERED SEED TECHNOLOGIST OR BY A STATE SEED LAB.
- C. ALL SEED USED SHALL HAVE BEEN TESTED WITHIN TWELVE (12) MONTHS.
- D. INOCULANT - THE INOCULANT ADDED TO LEGUME SEED IN THE SEED MIXTURES SHALL BE A PURE CULTURE OF NITROGEN-FIXING BACTERIA PREPARED FOR THE SPECIES. INOCULANTS SHALL NOT BE USED LATER THAN THE DATE INDICATED ON THE CONTAINER. TWICE THE SUPPLIER'S RECOMMENDED RATE OF INOCULANT WILL BE USED ON DRY SEEDINGS; FIVE TIMES THE RECOMMENDED RATE IF HYDROSEEDED.
- E. THE QUALITY OF THE SEED USED SHALL BE SHOWN ON THE BAG TAGS TO CONFORM TO THE GUIDELINES IN TABLE 3.32-E.

TABLE 3.32-E QUALITY OF SEED*

Table with 3 columns: LEGUMES, MINIMUM SEED PURITY(%), MINIMUM GERMINATION(%). Rows include CROWNVETCH, LESPEDEZA, KOREAN, LESPEDEZA, SERICEA, GRASSES, BLUEGRASS, KENTUCKY, FESCUE, TALL (IMPROVED), TURF-TYPE CULTIVARS), FESCUE, TALL (KY-31), FESCUE, RED, REDTOP, REED CANARYGRASS, PERENNIAL RYEGRASS, WEEPING LOVEGRASS, ANNUALS, ANNUAL RYEGRASS, GERMAN MILLET, OATS, CEREAL RYE.

* SEED CONTAINING PROHIBITED OR RESTRICTED NOXIOUS WEEDS SHOULD NOT BE ACCEPTED. SEED SHOULD NOT CONTAIN IN EXCESS OF 0.5% WEED SEED. TO CALCULATE PERCENT PURE, LIVE SEED, MULTIPLY GERMINATION TIMES PURITY AND DIVIDE BY 100.

EXAMPLE: KY-31 TALL FESCUE WITH A GERMINATION OF 85 PERCENT AND A PURITY OF 97%. 97 X 85 = 8245. 8245 / 100 = 82.45% PURE LIVE SEED.

**INCLUDES "HARD SEED"

APPENDIX 3.32-B KEYS TO SUCCESSFUL ESTABLISHMENT OF GRASSES AND LEGUMES

PLANNING: WHERE FEASIBLE, GRADING OPERATIONS SHOULD BE PLANNED AROUND OPTIMAL SEEDING DATES FOR THE PARTICULAR REGION. THE MOST EFFECTIVE TIMES FOR ESTABLISHING PERENNIAL GRASS IN VIRGINIA GENERALLY EXTEND FROM MARCH THROUGH MAY AND FROM AUGUST THROUGH OCTOBER. OUTSIDE THESE DATES, THE PROBABILITY OF FAILURE IS MUCH HIGHER. IF THE TIME OF YEAR IS NOT SUITABLE FOR SEEDING A PERMANENT COVER (PERENNIAL SPECIES), A TEMPORARY COVER CROP SHOULD BE PLANTED. TEMPORARY SEEDING OF ANNUAL SPECIES (SMALL GRAINS, RYEGRASSES OR MILLETS) OFTEN SUCCEEDS DURING PERIODS OF THE YEAR THAT ARE UNSUITABLE FOR SEEDING PERMANENT (PERENNIAL) SPECIES. VARIATIONS IN WEATHER AND LOCAL SITE CONDITIONS CAN MODIFY THE EFFECTS OF REGIONAL CLIMATE ON SEEDING SUCCESS. FOR THIS REASON, MIXTURES INCLUDING BOTH COOL AND WARM SEASON SPECIES ARE PREFERRED FOR LOW-MAINTENANCE COVER, PARTICULARLY IN THE COASTAL PLAIN. SUCH MIXTURES PROMOTE COVER WHICH CAN ADAPT TO A RANGE OF CONDITIONS. MANY OF THESE MIXTURES ARE NOT DESIRABLE, HOWEVER, FOR HIGH QUALITY LAWNS, WHERE VARIATION IN TEXTURE OF THE TURF IS INAPPROPRIATE. IT IS IMPORTANT TO NOTE THAT IN VIRGINIA THE ESTABLISHMENT OF 100% WARM SEASON GRASSES IN A HIGH QUALITY LAWN IS LIMITED TO THE EXTREME EASTERN PORTIONS OF THE COASTAL PLAIN.

SELECTION: SPECIES SELECTION SHOULD BE CONSIDERED EARLY IN THE PROCESS OF PREPARING AN EROSION AND SEDIMENT CONTROL PLAN. A VARIETY OF VEGETATION CAN BE ESTABLISHED IN VIRGINIA DUE TO THE DIVERSITY IN BOTH SOILS AND CLIMATE. HOWEVER, FOR PRACTICAL, ECONOMICAL STABILIZATION AND LONG-TERM PROTECTION OF DISTURBED SITES, SPECIES SELECTION SHOULD BE MADE JUDICIOUSLY. SEASONALITY MUST BE CONSIDERED WHEN SELECTING SPECIES. GRASSES AND LEGUMES ARE USUALLY CLASSIFIED AS WARM OR COOL SEASON IN REFERENCE TO THEIR SEASON OF GROWTH.

COOL SEASON PLANTS REALIZE MOST OF THEIR GROWTH DURING THE SPRING AND FALL AND ARE RELATIVELY INACTIVE OR DORMANT DURING THE HOT SUMMER MONTHS. THEREFORE, FALL IS THE MOST FAVORABLE TIME TO PLANT THEM. WARM SEASON PLANTS "GREEN-UP" LATE IN THE SPRING, GROW MOST ACTIVELY DURING THE SUMMER, AND GO DORMANT AT THE TIME OF THE FIRST FROST IN FALL. SPRING AND EARLY SUMMER ARE PREFERRED PLANTING TIMES FOR WARM SEASON PLANTS.

SEED MIXTURES: AS PREVIOUSLY NOTED, THE ESTABLISHMENT OF HIGH QUALITY TURF FREQUENTLY INVOLVES PLANTING ONE SINGLE SPECIES. HOWEVER, IN SEEDINGS FOR EROSION CONTROL PURPOSES, THE INCLUSION OF MORE THAN ONE SPECIES SHOULD ALWAYS BE CONSIDERED. MIXTURES NEED NOT BE EXCESSIVE IN POUNDAGE OR SEED COUNT. THE ADDITION OF A QUICK-GROWING ANNUAL PROVIDES EARLY PROTECTION AND FACILITATES ESTABLISHMENT OF ONE OR TWO PERENNIALS IN A MIX. MORE COMPLEX MIXTURES MIGHT INCLUDE A QUICK-GROWING ANNUAL, ONE OR TWO LEGUMES AND MORE THAN ONE PERENNIAL GRASS. THE ADDITION OF A "NURSE" CROP (QUICK-GROWING ANNUALS ADDED TO PERMANENT MIXTURES) IS A SOUND PRACTICE FOR SOIL STABILIZATION, PARTICULARLY ON DIFFICULT SITES - THOSE WITH STEEP SLOPES; POOR, ROCKY, EROSION SOILS; THOSE SEEDED OUT THE OPTIMUM SEEDING PERIODS; OR IN ANY SITUATION WHERE THE DEVELOPMENT OF PERMANENT COVER IS LIKELY TO BE SLOW. THE NURSE CROP GERMINATES AND GROWS RAPIDLY, HOLDING THE SOIL UNTIL THE SLOWER-GROWING PERENNIAL SEEDLINGS BECOME ESTABLISHED.

APPENDIX 3.32 - C PLANT INFORMATION SHEETS

1. TALL FESCUE (FESTUCA ARUNDINACEA)

USES: PASTURE, HAY, RECREATION AREAS, LAWNS AND STABILIZATION OF WATERWAYS, BANKS, SLOPES, CUTS, FILLS, AND SPOILS. IT IS THE MOST WIDELY USED GRASS AT THIS TIME FOR STABILIZING LARGE DISTURBED AREAS.

DESCRIPTION: A ROBUST, COOL SEASON, LONG-LIVED, DEEP-ROOTED BUNCHY GRASS WHICH MAY HAVE SHORT RHIZOMES (UNDERGROUND STEMS). KENTUCKY 31 IS THE BEST-KNOWN VARIETY. A NUMBER OF NEW VARIETIES OF TALL FESCUE ARE BECOMING AVAILABLE FOR LAWN AND OTHER FINE-TURF USES, AND SEVERAL OFFER DEFINITE IMPROVEMENTS. HOWEVER, THEIR HIGHER COST OVER THE OLD STANDARD, KY 31, IS SELDOM JUSTIFIED WHEN USED FOR PURPOSES OF STABILIZATION AND EROSION CONTROL. TALL FESCUE TOLERATES A WIDE RANGE OF SEEDING DATES; HOWEVER, WITH THE POSSIBLE EXCEPTION OF HIGH MOUNTAIN ELEVATIONS, IT IS MOST DEPENDABLE WHEN PLANTED IN FALL.

ADAPTATION: ADAPTS WELL TO BOTH HIGH AND LOW MAINTENANCE USES THROUGHOUT VIRGINIA. ADAPTED TO A WIDE RANGE OF CLIMATIC CONDITIONS. OPTIMUM PH RANGE IS 6.0 TO 7.0; WILL TOLERATE FROM 3.0 TO 8.0. WILL GROW ON SHALLOW AND CLAYPAN SOILS IF THEY ARE MOIST. GROWTH IS LIMITED MORE BY MOISTURE THAN BY TEMPERATURE EXTREMES, BUT IT WILL TOLERATE DROUGHT, INFERTILE SOILS AND SHADE.

ESTABLISHMENT: REQUIRES A FIRM SEEDBED. HYDROSEEDING IS SUCCESSFUL. SEEDING RATES VARY FROM 100 LBS. PER ACRE FOR EROSION CONTROL TO 250 LBS. PER ACRE FOR LAWNS. PLANT IN EARLY SPRING OR FROM THE MIDDLE OF AUGUST THROUGH SEPTEMBER. LEGUMES MAY NOT THRIVE IN FESCUE STANDS DUE TO THE AGGRESSIVE GROWTH HABITS OF THIS GRASS. MOWING IS DESIRABLE ON CRITICAL AREAS AT LEAST ONCE EVERY TWO YEARS; LACK OF PERIODIC MOWING WILL ENCOURAGE CLUMPINESS.

SOURCES: READILY AVAILABLE AS SEED AND SOD.

2. KENTUCKY BLUEGRASS (POA PRATENSE)

USES: PASTURE, TURF FOR LAWNS, ATHLETIC FIELDS, GOLF COURSES, AND PLAYGROUNDS. ALSO USED TO STABILIZE WATERWAYS, SLOPES, CUTS AND FILLS. CHOICE FOOD FOR GROUSE, TURKEYS, DEER AND RABBITS.

DESCRIPTION: LONG-LIVED, COOL SEASON PERENNIAL GRASS WHICH FORMS A DENSE SOD. BECOMES DORMANT IN THE HEAT OF SUMMER SINCE ITS GROWING SEASON IS SPRING AND FALL.

ADAPTATION: BEST ADAPTED TO WELL - DRAINED, FERTILE SOILS OF LIMESTONE ORIGIN AND THE CLIMATE OF NORTHERN AND WESTERN VIRGINIA. OPTIMUM PH RANGE IS 6.0 TO 7.0. BLUEGRASSES ARE BETTER SUITED TO HIGH MAINTENANCE SITUATIONS IN THE TRANSITIONS ZONE. ESSENTIALLY DORMANT DURING DRY OR HOT WEATHER; HOWEVER, IT WILL NORMALLY SURVIVE SEVEREDROUGHT.

ESTABLISHMENT: REQUIRES A FIRM, WEED-FREE SEEDBED AND ADEQUATE FERTILIZATION (LIBERAL PHOSPHORUS) AND LIME ARE IMPORTANT. CAN BE USED WITH TALL FESCUES AT LOW RATES. MINIMUM MOWING HEIGHT IS 1-1/2 INCHES. CRITICAL EROSION AREAS MAY BE MOWED ONLY ONCE PER YEAR, IF DESIRED. THIS GRASS IS USUALLY SEEDED WITH A MIXTURE OF OTHER GRASSES OR LEGUMES; SEVERAL VARIETIES OF BLUEGRASS SHOULD BE USED TOGETHER TO ENSURE GOOD STAND SURVIVAL. BARE GROUND RATES ARE 120 LBS. PER ACRE. OVERSEED 1 TO 1-1/2 LBS PER 1000 SQUARE FEET.

SOURCES: READILY AVAILABLE AS SEED AND SOD.

3. PERENNIAL RYEGRASS (LOLIUM PERRENNE)

USES: EROSION CONTROL, SOIL IMPROVEMENT, LAWNS, PASTURE, AND HAY; NEWER VARIETIES ARE EXCELLENT FOR HIGH-TRAFFIC AREAS.

DESCRIPTION: PERENNIAL RYEGRASSES ARE AN EXCELLENT SELECTION WHERE RAPID ESTABLISHMENT IS DESIRED. COOL SEASON RYEGRASSES CROSS-POLLINATE FREELY SO "COMMON RYEGRASS" MAY BE A MIXTURE OF ANNUAL AND PERENNIAL SPECIES. CERTIFIED SEED OF PERENNIAL RYEGRASS VARIETIES IS PRODUCED: BLASER, PALMER, GOALIE, FIESTA II, RANGER, REGAL AND PENNFINE MAY BE USED IN VIRGINIA.

ESTABLISHMENT: A FIRM, SHALLOW SURFACE OVER COMPACT SUBSOIL GIVES GOOD RESULTS. SEED IN FALL OR SPRING. PERENNIAL RYEGRASS MAY ALSO BE SEEDED IN MID-AUGUST TO EARLY SEPTEMBER. FOR TURF, USE A RATE OF 5 TO 8 LBS. PER 1000 SQUARE FEET, IF SEEDED ALONE; LESSER AMOUNTS ARE SUITABLE IN MIXTURES, DEPENDING ON THE CHARACTERISTICS OF THE COMPANION SPECIES. GENERALLY NOT SEEDED ALONE EXCEPT ON ATHLETIC FIELDS WITH INTENSIVE PERENNIAL RYEGRASS DOES BEST WHEN USED WITH BLUEGRASS AS 20 PERCENT OR LESS OF THE MIXTURE. RYEGRASSES GERMINATE RAPIDLY, WHICH MAKES THEM PARTICULARLY SUITED TO DISTURBED-AREA STABILIZATION AND TEMPORARY SEEDING. THEY WILL, HOWEVER, TEND TO DOMINATE STANDS IN MIXTURES IF PERCENTAGE IS TOO HIGH.

SOURCES: READILY AVAILABLE COMMERCIALY. CARE SHOULD BE TAKEN TO BUY SEED APPROPRIATE TO THE NEEDS OF THE PROJECT.

4. BERMUDAGRASS (CYNODON DACTYLON)

USES: SOIL AND WATER CONSERVATION, PASTURE, HAY, SILAGE, LAWNS, BOTH HIGH MAINTENANCE AND GENERAL PURPOSE TURF, AND STABILIZATION OF GRASSED WATERWAYS.

DESCRIPTION: A LONG-LIVED, WARM SEASON PERENNIAL THAT SPREADS BY STOLONS AND RHIZOMES (RUNNERS AND UNDERGROUND STEMS). HEIGHT OF STEMS OF COMMON BERMUDAGRASS MAY BE 12 INCHES. THE STEMS ARE SHORT-JOINTED AND THE LEAVES FLAT AND SPREADING.

COMMON BERMUDAGRASS MAY BE ESTABLISHED VEGETATIVELY WITH SPRIGS (SECTIONS OF STEMS) OR FROM SEEDS; HOWEVER, IT HAS THE POTENTIAL TO DEVELOP INTO A WEED PROBLEM BECAUSE IT SPREADS VIGOROUSLY. COLD-TOLERANT HYBRIDS ARE USUALLY SPECIFIED. THESE ARE TRADITIONALLY ESTABLISHED FROM SPRIGS OR SOD, BUT SEED IS NOW AVAILABLE.

ADAPTATION: SOUTHERN PIEDMONT AND COSTAL PLAIN IN VIRGINIA AND SOME SOUTHERN APPALACHIAN RIDGES AND VALLEYS. CHECK STD. & SPEC. 3.34 FOR REGIONAL ADAPTATIONS OF VARIETIES. MAKES ITS BEST GROWTH WHEN AVERAGE DAILY TEMPERATURES ARE ABOVE 75 DEGREES. GROWS ON A WIDE RANGE OF SOILS FROM HEAVY CLAYS TO DEEPS SANDS. OPTIMUM PH IS 6.0 TO 6.5. IT IS DROUGHT-RESISTANT AND SALT-TOLERANT. TOLERATES FLOODS OF SHORT DURATION BUT WILL NOT THRIVE ON WATERLOGGED SOILS; DOES NOT PERSIST UNDER HEAVY SHADE.

FOR ROUGH AREAS, THE VARIETIES MIDLAND (A FORAGE HYBRID) AND COASTAL ARE RECOMMENDED. FOR FINE-TURF AREAS, TUFFCOTE (A FINE-LEAVED TURF HYBRID), MIDIRON, TIFWAY, AND VAMONT ARE USED IN VIRGINIA.

ESTABLISHMENT: BY SODDING OR PLANTING SPRIGS. SPRIGS SHOULD BE PLANTED (BY HAND OR MACHINE) WHEN SOIL IS WARM IN A WELL-PREPARED, MOIST SEEDBED. ONE END OF THE SPRIG SHOULD EXTEND ABOVE GROUND, AND THE OTHER SHOULD BE COVERED BY FIRMLY PACKED SOIL.

SOURCES: READILY AVAILABLE AS SEED, SPRIGS, AND SOD.

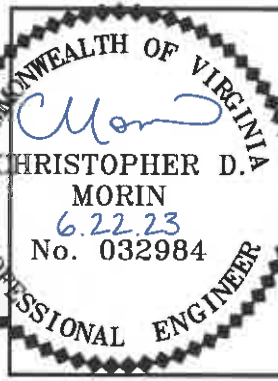


Table with 5 columns: NO., DATE, DESCRIPTION, BY, AGT. Rows include PRELIMINARY ZONING DRAWINGS.

DRAWN BY: AGT CHECKED BY: BMQ DRAWING DATE: 06/22/23

Form fields for CARRIER'S NAME, SITE NUMBER, SITE NAME, BERRY HILL, BUSINESS UNIT NUMBER, 831968, SITE ADDRESS, 5881 BERRY HILL ROAD DANVILLE, VA 24069

SHEET TITLE: PERMANENT SEEDING NOTES (2 OF 3) SHEET NUMBER

TEMPORARY CONSTRUCTION ENTRANCE DETAIL & NOTES

FOR BC INTERNAL USE ONLY: 06-09-23 ATTDS 17:00:39 C:/Users/steve/OneDrive (BC)/Drawings/2023/Current/BC Files/Drawings - 2023/Current/313189 - Berry Hill - Corridors B - Hadden - Patawomeck County, VA_P27's - Rev 0/003.dwg

5. REDTOP (AGROSTIS ALBA)

USES: EROSION CONTROL, PASTURE, COMPANION GRASS IN TURF SEEDINGS AND STABILIZING DITCH AND CHANNEL BANKS, GRASSED WATERWAYS, AND OTHER DISTURBED AREAS.

DESCRIPTION: A COARSE, COOL SEASON PERENNIAL GRASS WITH RHIZOMES (UNDERGROUND STEMS). GROWS TO 30 TO 40 INCHES.

ADAPTATION: THROUGHOUT VIRGINIA; DOES BETTER IN THE COOL, HUMID AREAS. WILL GROW UNDER A WIDE VARIETY OF SOIL AND MOISTURE CONDITIONS. GROWS ON VERY ACID SOILS OF LOW FERTILITY. WHILE DROUGHT-RESISTANT, IT IS ALSO A USEFUL WETLAND GRASS.

ESTABLISHMENT: HAS VERY SMALL SEED AND REQUIRES A COMPACT SEEDBED. MAY BE SOWN IN EARLY SPRING OR LATE SUMMER. SELDOM SEEDED ALONE EXCEPT AS TEMPORARY TURF. ADEQUATE FERTILIZATION IS ESSENTIAL ON CRITICAL AREAS TO OBTAIN GOOD COVER RAPIDLY. MOST COMMONLY ADDED TO MIXES, USUALLY 2 TO 3 LBS. PER ACRE. REDTOP WILL DISAPPEAR FROM A STAND UNDER FREQUENT LOW MOWING.

SOURCES: AVAILABLE FROM COMMERCIAL SOURCES.

6. CROWNVELTCH (CORONILLA VARIA)

USES: FOR EROSION CONTROL OF CRITICAL AREAS SUCH AS STEEP ROADBANKS, SURFACE MINE SPOILS AND INDUSTRIAL WASTE AREAS. IT IS ALSO USEFUL AS A RESIDENTIAL GROUND COVER. IT PROVIDES HIGH-QUALITY FORAGE FOR RUMINANT ANIMALS AND SERVES AS A WILDLIFE FOOD AND COVER PLANT.

DESCRIPTION: A DEEP-ROOTED, COOL SEASON, PERENNIAL, HERBACEOUS LEGUME WITH A SEMI-RECLINING GROWTH HABIT. IT REACHES 2 TO 3 FEET IN HEIGHT, AND DOES NOT CLIMB OR TWINE. IT FIXES NITROGEN IN THE SOIL AND MAKES A DENSE MAT OF VEGETATIVE COVER.

ADAPTATION: BEST ADAPTED TO THE NORTHERN PIEDMONT AND MOUNTAIN REGIONS OF VIRGINIA. IT GROWS BEST ON WELL-DRAINED SOILS WITH A PH RANGE OF 5.5 TO 8.3. IT WILL PERSIST ON MORE ACID SOILS FOR A PROLONGED PERIOD ONCE ESTABLISHED. IT IS NOT ADAPTED TO SOILS WITH POOR DRAINAGE. CROWNVELTCH IS WINTER-HARDY AND DROUGHT TOLERANT. VARIETIES COMMONLY USED ARE CHEMUNG, PENNGIFT, AND EMERALD.

ESTABLISHMENT: ONLY INOCULATED SEED SHOULD BE USED. REQUIRES AT LEAST 500 LBS. PER ACRE OF 5-10-10 FERTILIZER (OR THE AREA SHOULD BE FERTILIZED ACCORDING TO SOIL TEST RESULTS). SOIL ACIDITY MUST BE RAISED ABOVE A PH OF 5.5. CROWNVELTCH REQUIRES MULCH AND CAN BE HYDROSEEDED SUCCESSFULLY.

SEEDING IN THE SPRING IS MOST SUCCESSFUL. FROST-SEEDING MAY BE USED ON STEEP OR STONY SITES (SEED IN LATE WINTER, AND ALLOW FROST ACTION TO WORK THE SEED INTO SOIL). CROWNVELTCH OFTEN TAKES 2 TO 3 YEARS TO ESTABLISH A DENSE STAND. A COMPANION GRASS SUCH AS PERENNIAL RYEGRASS OR REDTOP NEEDS TO BE MIXED INTO THE INITIAL PLANTING, BUT THE CROWNVELTCH WILL EVENTUALLY CROWD OUT THE COMPANION PLANTS. IT WILL NOT PERSIST UNDER FREQUENT MOWING.

SOURCES: AVAILABLE COMMERCIALY

7. SERICEA LESPEDEZA (LESPEDEZA CUNEATA)

USES: HAY, PASTURE, EROSION CONTROL, COVER CROP, WILDLIFE FOOD.

DESCRIPTION: WARM SEASON PERENNIAL LEGUME WITH UPRIGHT WOODY STEMS 12 TO 18 INCHES TALL. ROOTS WIDELY BRANCHED PENETRATING SOIL 3 FEET OR MORE.

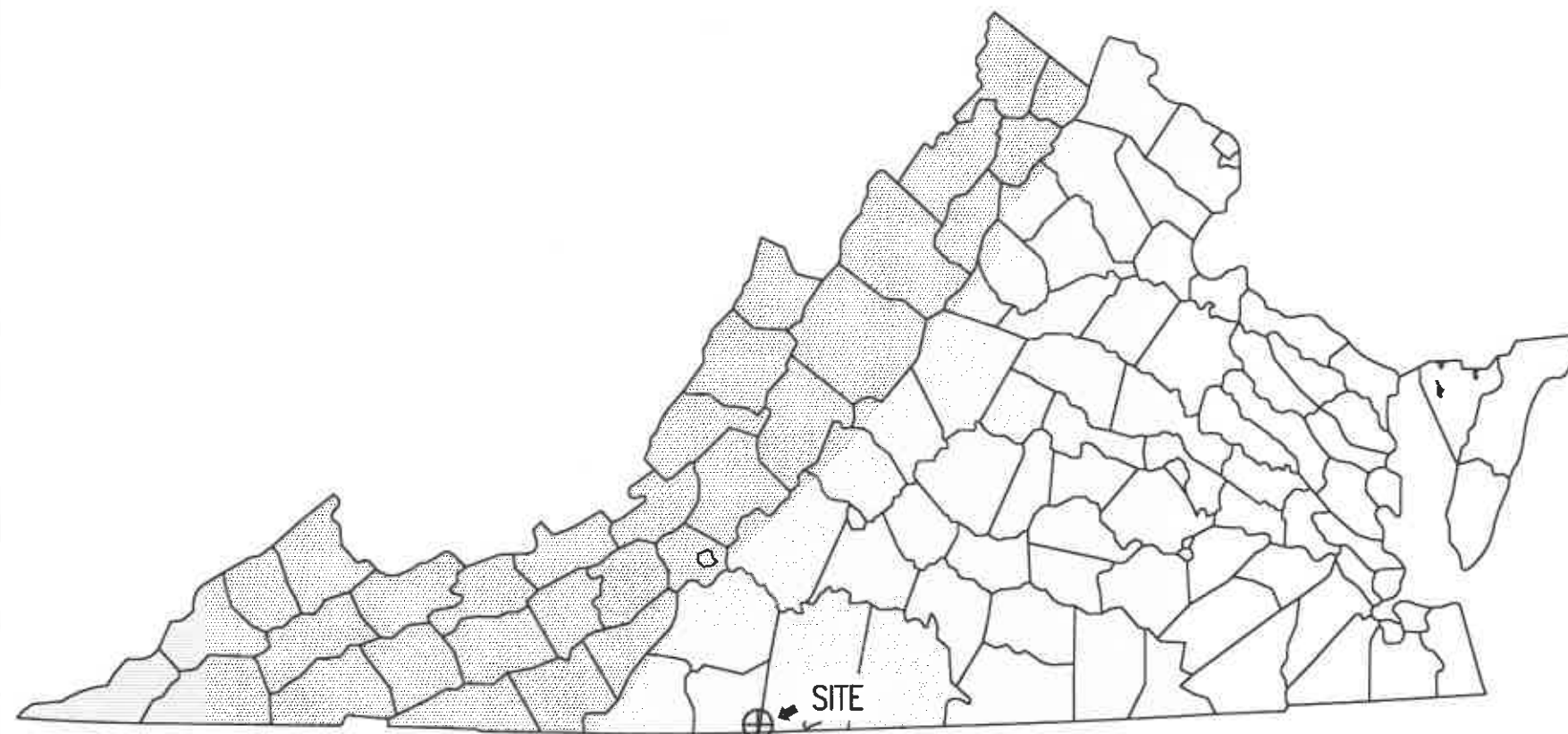
ADAPTATION: WELL ADAPTED TO ALL PARTS OF VIRGINIA. BEST ON WELL-DRAINED, DEEP SOILS OF MEDIUM TEXTURE. WILL ALSO GROW ON SANDY, RATHER ACIDIC, INFERTILE SOILS. MOST OFTEN THE LEGUME OF CHOICE FOR EASTERN VIRGINIA. OPTIMUM PH RANGE IS 6.0 TO 6.5, BUT WILL TOLERATE A RANGE OF 5.0 TO 7.0. IT IS DROUGHT-TOLERANT. COMMON VARIETIES IN VIRGINIA ARE SERALA AND INTERSTATE.

ESTABLISHMENT: SEED FROM APRIL TO JUNE. REQUIRES A FIRM SEEDBED. USE ONLY INOCULATED SEED. RATES VARY FROM 20 TO 30 LBS. OF UNHULLED SEED PER ACRE. REQUIRES PHOSPHATE AND POTASH. WILL NOT PERSIST UNDER FREQUENT MOWING (ONCE A YEAR RECOMMENDED).

SOURCES: SEED OF COMMON VARIETIES IS COMMERCIALY AVAILABLE.

PS STD & SPEC 3.32 - PERMANENT SEEDING

NOTE: ALL DETAILS ARE REFERENCED FROM THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK, THIRD EDITION, 1992 AND FIELD MANUAL, SECOND EDITION, 1995
SEE E&S DRAWINGS FOR LOCATIONS OF EROSION AND SEDIMENT CONTROL STRUCTURAL PRACTICES

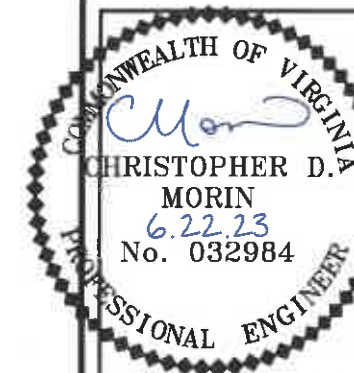
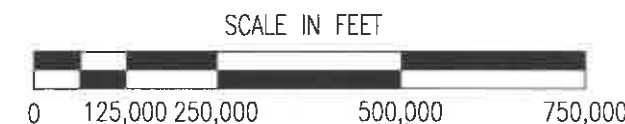


APPALACHIAN

PIEDMONT

COASTAL PLAIN

PHYSIOGRAPHIC PROVINCES IN VIRGINIA



REVISIONS	NO.	DATE	DESCRIPTION	BY	AGT	AGT	AGT	AGT	AGT
	A	06-02-23	PRELIMINARY ZONING DRAWINGS						
	B	06-13-23	PRELIMINARY ZONING DRAWINGS						
	C	06-15-23	PRELIMINARY ZONING DRAWINGS						
	D	06-21-23	PRELIMINARY ZONING DRAWINGS						
	E	06-22-23	FINAL ZONING DRAWINGS						

DRAWN BY: AGT
CHECKED BY: BMQ
DRAWING DATE: 06/22/23

CARRIER'S NAME

SITE NUMBER:

SITE NAME:

SITE NAME

BERRY HILL

BUSINESS UNIT NUMBER

831969

SITE ADDRESS

5981 BERRY HILL ROAD
DANVILLE, VA 24069

SHEET TITLE

PERMANENT SEEDING
NOTES (3 OF 3)

SHEET NUMBER

FOR B3: INTERNAL USE ONLY: 08-09-03 ATCS 17:50:46 C:\Users\james\Desktop (BC)\Server\BC Plant\Drawings - 2023\County\03\038 - Berry Hill - Carolina B - Hamilton - Highlands County, VA_2023 - Rev B/16/2023

SOIL TYPE AT PROPOSED COMPOUND

PITTSYLVANIA COUNTY AND THE CITY OF DANVILLE, VIRGINIA
 34B-SHEVA FINE SANDY LOAM, 2 TO 7 PERCENT SLOPES

MAP UNIT SETTING
 NATIONAL MAP UNIT SYMBOL: ZY2T0
 ELEVATION: 400 TO 1,000 FEET
 FROST-FREE PERIOD: 179 TO 222 DAYS
 FARMLAND CLASSIFICATION: NOT PRIME FARMLAND

MAP UNIT COMPOSITION
 SHEVA AND SIMILAR SOILS:85 PERCENT
 MINOR COMPONENTS:4 PERCENT
 ESTIMATES ARE BASED ON OBSERVATIONS, DESCRIPTIONS, AND TRANSECTS OF THE MAP UNIT.

DESCRIPTION OF SHEVA

SETTING
 LANDFORM:HILLSLOPES
 LANDFORM POSITION (TWO-DIMENSIONAL):SHOULDER
 LANDFORM POSITION (THREE-DIMENSIONAL):INTERFLUVE
 DOWN-SLOPE SHAPE:CONVEX
 ACROSS-SLOPE SHAPE:CONVEX
 PARENT MATERIAL:TRIASSIC RESIDUUM WEATHERED FROM IGNEOUS AND SEDIMENTARY ROCK

TYPICAL PROFILE
 AP - 0 TO 10 INCHES: FINE SANDY LOAM
 BT - 10 TO 29 INCHES: CLAY LOAM
 CR - 29 TO 56 INCHES: BEDROCK
 R - 56 TO 66 INCHES: BEDROCK

PROPERTIES AND QUALITIES
 SLOPE:2 TO 7 PERCENT
 DEPTH TO RESTRICTIVE FEATURE:MORE THAN 80 INCHES; MORE THAN 80 INCHES
 DRAINAGE CLASS:MODERATELY WELL DRAINED
 CAPACITY OF THE MOST LIMITING LAYER TO TRANSMIT WATER (KSAT):VERY LOW TO MODERATELY LOW (0.00 TO 0.06 IN/HR)
 DEPTH TO WATER TABLE:ABOUT 18 TO 24 INCHES
 FREQUENCY OF FLOODING:NONE
 FREQUENCY OF PONDING:NONE
 AVAILABLE WATER SUPPLY, 0 TO 60 INCHES: LOW (ABOUT 4.1 INCHES)

INTERPRETIVE GROUPS
 LAND CAPABILITY CLASSIFICATION (IRRIGATED): NONE SPECIFIED
 LAND CAPABILITY CLASSIFICATION (NONIRRIGATED): 2E
 HYDROLOGIC SOIL GROUP: C/D
 ECOLOGICAL SITE: F136XY420NC - TRIASSIC BASIN UPLAND FOREST, MOIST
 HYDRIC SOIL RATING: NO

MINOR COMPONENTS

LEANSVILLE
 PERCENT OF MAP UNIT:4 PERCENT
 LANDFORM:DEPRESSIONS
 LANDFORM POSITION (TWO-DIMENSIONAL):SUMMIT
 LANDFORM POSITION (THREE-DIMENSIONAL):INTERFLUVE
 DOWN-SLOPE SHAPE:CONCAVE
 ACROSS-SLOPE SHAPE:CONCAVE
 HYDRIC SOIL RATING: YES
 SURVEY AREA DATA: VERSION 15, AUG 30, 2022

NOTE:
 ALL APPLICABLE STATE AND FEDERAL PERMITS SHALL BE OBTAINED PRIOR TO DISTURBANCES WITHIN JURISDICTIONAL WATERS AND WETLANDS.



SOIL TYPE AT PROPOSED ACCESS ROAD

PITTSYLVANIA COUNTY AND THE CITY OF DANVILLE, VIRGINIA
 34C-SHEVA FINE SANDY LOAM, 7 TO 15 PERCENT SLOPES

MAP UNIT SETTING
 NATIONAL MAP UNIT SYMBOL: ZY2T1
 ELEVATION: 400 TO 1,000 FEET
 FROST-FREE PERIOD: 179 TO 222 DAYS
 FARMLAND CLASSIFICATION: NOT PRIME FARMLAND

MAP UNIT COMPOSITION
 SHEVA AND SIMILAR SOILS:90 PERCENT
 ESTIMATES ARE BASED ON OBSERVATIONS, DESCRIPTIONS, AND TRANSECTS OF THE MAP UNIT.

DESCRIPTION OF SHEVA

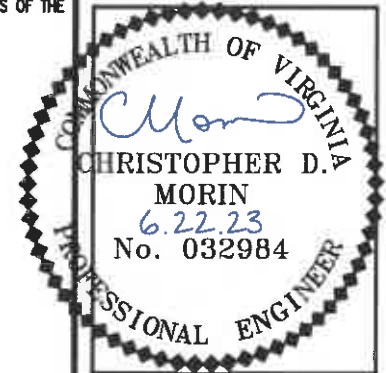
SETTING
 LANDFORM:HILLSLOPES
 LANDFORM POSITION (TWO-DIMENSIONAL):SHOULDER
 LANDFORM POSITION (THREE-DIMENSIONAL):INTERFLUVE
 DOWN-SLOPE SHAPE:CONVEX
 ACROSS-SLOPE SHAPE:CONVEX
 PARENT MATERIAL:TRIASSIC RESIDUUM WEATHERED FROM IGNEOUS AND SEDIMENTARY ROCK

TYPICAL PROFILE
 AP - 0 TO 10 INCHES: FINE SANDY LOAM
 BT - 10 TO 29 INCHES: CLAY LOAM
 CR - 29 TO 56 INCHES: BEDROCK
 R - 56 TO 66 INCHES: BEDROCK

PROPERTIES AND QUALITIES
 SLOPE:7 TO 15 PERCENT
 DEPTH TO RESTRICTIVE FEATURE:MORE THAN 80 INCHES; MORE THAN 80 INCHES
 DRAINAGE CLASS:MODERATELY WELL DRAINED
 CAPACITY OF THE MOST LIMITING LAYER TO TRANSMIT WATER (KSAT):VERY LOW TO MODERATELY LOW (0.00 TO 0.06 IN/HR)
 DEPTH TO WATER TABLE:ABOUT 18 TO 24 INCHES
 FREQUENCY OF FLOODING:NONE
 FREQUENCY OF PONDING:NONE
 AVAILABLE WATER SUPPLY, 0 TO 60 INCHES: LOW (ABOUT 4.1 INCHES)

INTERPRETIVE GROUPS
 LAND CAPABILITY CLASSIFICATION (IRRIGATED): NONE SPECIFIED
 LAND CAPABILITY CLASSIFICATION (NONIRRIGATED): 3E
 HYDROLOGIC SOIL GROUP: C/D
 ECOLOGICAL SITE: F136XY420NC - TRIASSIC BASIN UPLAND FOREST, MOIST
 HYDRIC SOIL RATING: NO

DATA SOURCE INFORMATION
 SOIL SURVEY AREA: PITTSYLVANIA COUNTY AND THE CITY OF DANVILLE, VIRGINIA
 SURVEY AREA DATA: VERSION 15, AUG 30, 2022



NO.	DATE	DESCRIPTION	BY	AGT	AGT	AGT	AGT	AGT
A	08-02-23	PRELIMINARY ZONING DRAWINGS						
B	08-13-23	PRELIMINARY ZONING DRAWINGS						
C	08-15-23	PRELIMINARY ZONING DRAWINGS						
D	08-21-23	PRELIMINARY ZONING DRAWINGS						
E	08-22-23	FINAL ZONING DRAWINGS						

DRAWN BY: AGT
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BERRY HILL

BUSINESS UNIT NUMBER

831969

SITE ADDRESS

5981 BERRY HILL ROAD
 DANVILLE, VA 24069

SHEET TITLE

SOIL MAP

SHEET NUMBER



SOIL MAP

SCALE: 1"=100' (11"x17")
 1"=60' (24"x36")

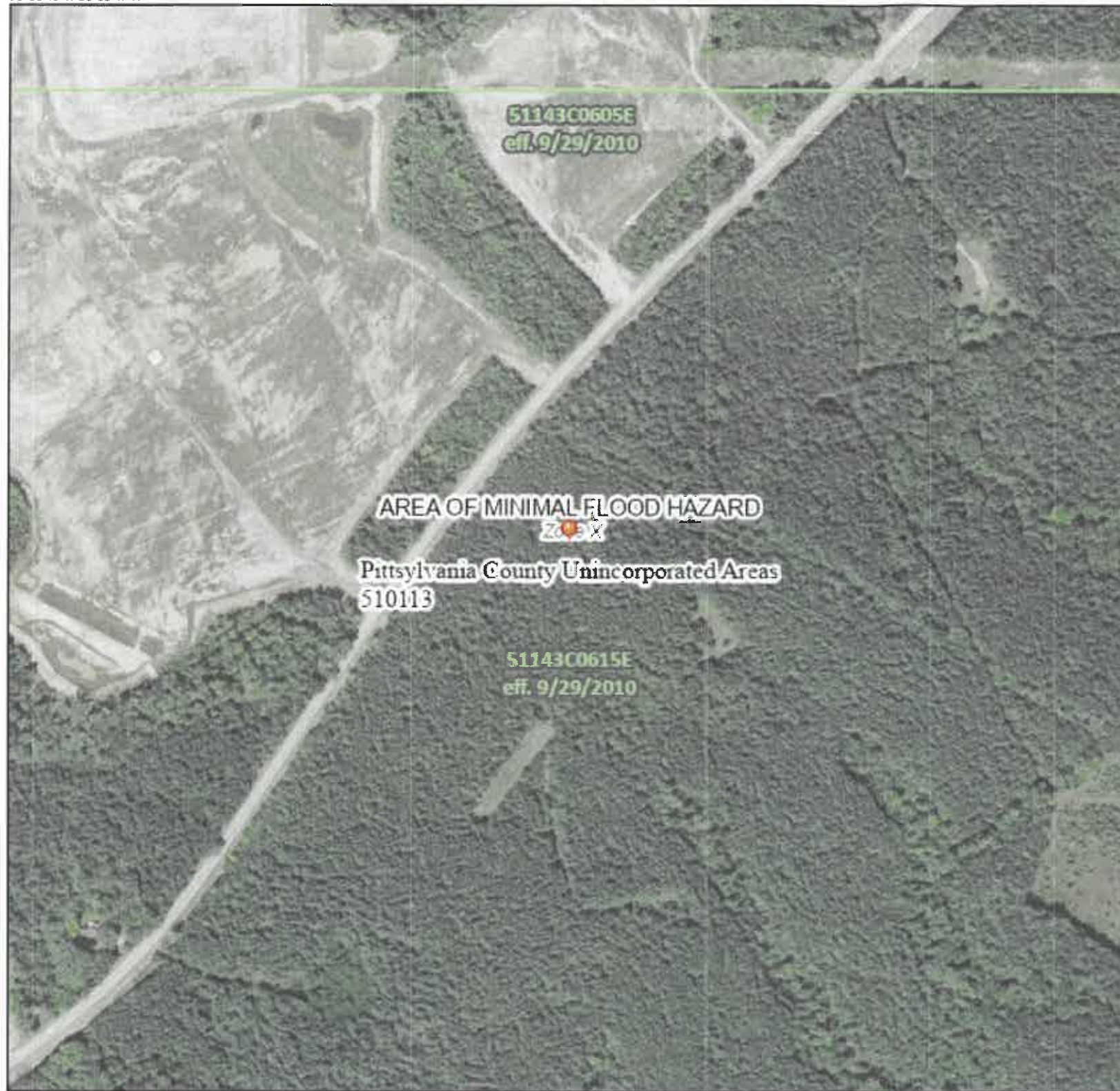
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G-9

National Flood Hazard Layer FIRMette



79°35'46"W 36°33'47"N



0 250 500 1,000 1,500 2,000 Feet 1:6,000

Basemap Imagery Source: USGS National Map 2023

FEMA FLOOD MAP

Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

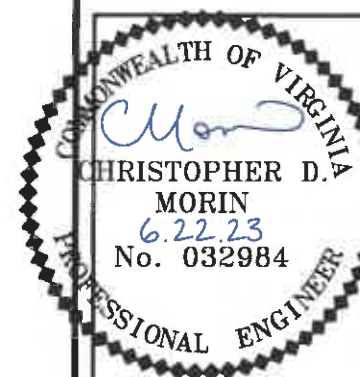
SPECIAL FLOOD HAZARD AREAS		Without Base Flood Elevation (BFE) Zone A, V, A99
		With BFE or Depth Zone AE, AO, AH, VE, AR
		Regulatory Floodway
OTHER AREAS OF FLOOD HAZARD		0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
		Future Conditions 1% Annual Chance Flood Hazard Zone X
		Area with Reduced Flood Risk due to Levee. See Notes. Zone X
OTHER AREAS		Area with Flood Risk due to Levee Zone D
		Area of Minimal Flood Hazard Zone X
GENERAL STRUCTURES		Effective LOMRs
		Area of Undetermined Flood Hazard Zone D
OTHER FEATURES		Channel, Culvert, or Storm Sewer
		Levee, Dike, or Floodwall
MAP PANELS		Cross Sections with 1% Annual Chance Water Surface Elevation
		Coastal Transect
		Base Flood Elevation Line (BFE)
		Limit of Study
		Jurisdiction Boundary
		Coastal Transect Baseline
		Profile Baseline
		Hydrographic Feature
		Digital Data Available
		No Digital Data Available
		Unmapped

The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on **6/12/2023 at 10:31 AM** and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.



NO.	DATE	DESCRIPTION	BY	ACT	ACT	ACT	ACT
A	06-02-23	PRELIMINARY ZONING DRAWINGS					
B	06-13-23	PRELIMINARY ZONING DRAWINGS					
C	06-15-23	PRELIMINARY ZONING DRAWINGS					
D	06-21-23	PRELIMINARY ZONING DRAWINGS					
E	06-22-23	FINAL ZONING DRAWINGS					

DRAWN BY: AGT
CHECKED BY: BMQ
DRAWING DATE: 06/22/23

CARRIER'S NAME

SITE NUMBER:
SITE NAME:

SITE NAME
BERRY HILL

BUSINESS UNIT NUMBER
831969

SITE ADDRESS
5981 BERRY HILL ROAD
DANVILLE, VA 24069

SHEET TITLE
FEMA FLOOD MAP

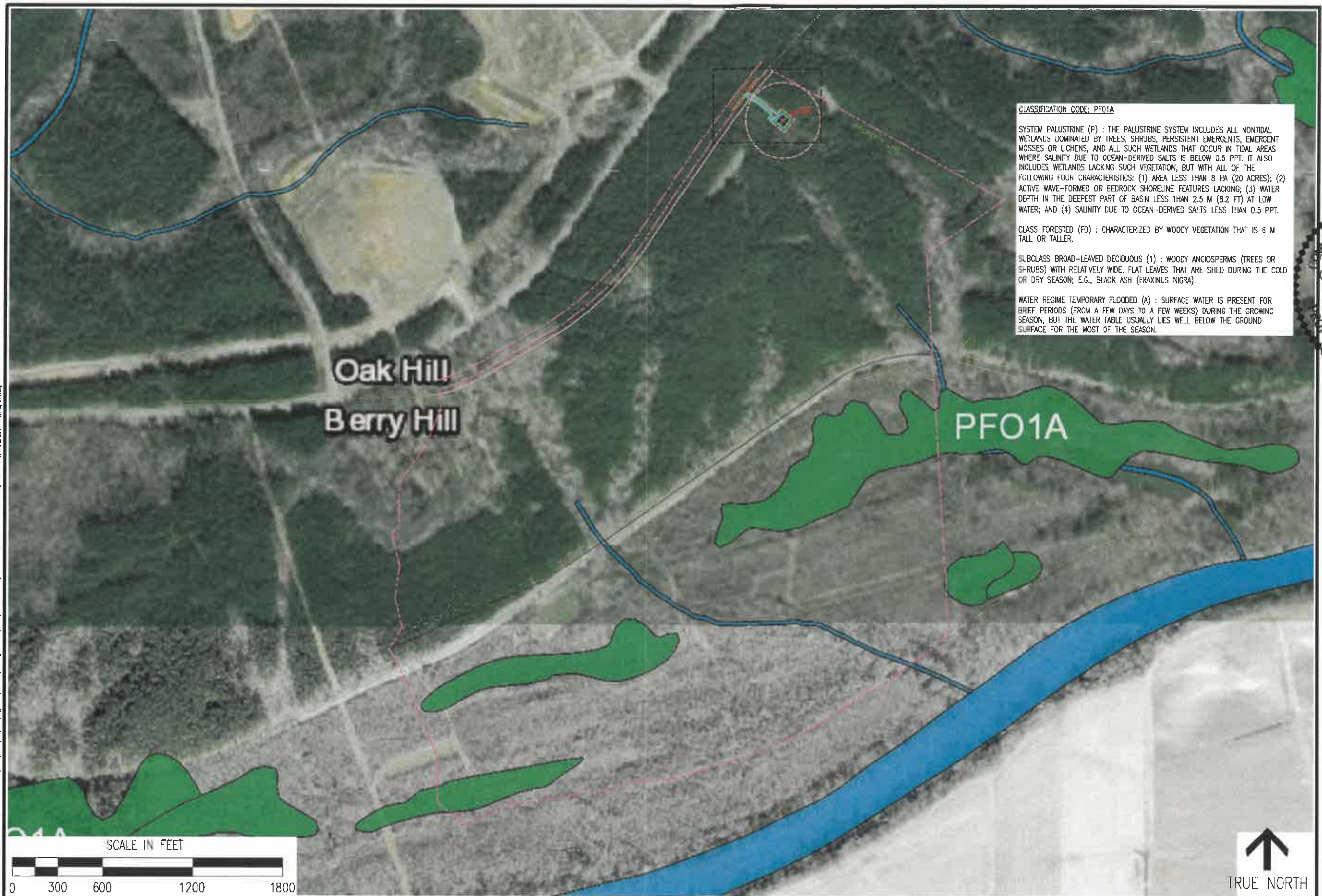
SHEET NUMBER

SCALE: N.T.S.

1

G-10

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 FOR INTERNAL USE ONLY: 06-15-23 12:23:09
 C:\Users\jmorin\OneDrive\Documents\Projects\831969 - Berry Hill - Consolidate B - HdrMap - Palustrine County, VA_PFD's - Rev B/011.dwg



CLASSIFICATION CODE: PFO1A

SYSTEM PALUSTRINE (P) : THE PALUSTRINE SYSTEM INCLUDES ALL NONTIDAL WETLANDS DOMINATED BY TREES, SHRUBS, PERSISTENT EMERGENTS, EMERGENT MOSSES OR LICHENS, AND ALL SUCH WETLANDS THAT OCCUR IN TIDAL AREAS WHERE SALINITY DUE TO OCEAN-DERIVED SALTS IS BELOW 0.5 PPT. IT ALSO INCLUDES WETLANDS LACKING SUCH VEGETATION, BUT WITH ALL OF THE FOLLOWING FOUR CHARACTERISTICS: (1) AREA LESS THAN 8 HA (20 ACRES); (2) ACTIVE WAVE-FORMED OR BEDROCK SHORELINE FEATURES LACKING; (3) WATER DEPTH IN THE DEEPEST PART OF BASIN LESS THAN 2.5 M (8.2 FT) AT LOW WATER; AND (4) SALINITY DUE TO OCEAN-DERIVED SALTS LESS THAN 0.5 PPT.

CLASS FORESTED (FO) : CHARACTERIZED BY WOODY VEGETATION THAT IS 6 M TALL OR TALLER.

SUBCLASS BROAD-LEAVED DECIDUOUS (1) : WOODY ANGIOSPERMS (TREES OR SHRUBS) WITH RELATIVELY WIDE, FLAT LEAVES THAT ARE SHED DURING THE COLD OR DRY SEASON; E.G., BLACK ASH (FRAXINUS NIGRA).

WATER REGIME TEMPORARY FLOODED (A) : SURFACE WATER IS PRESENT FOR BRIEF PERIODS (FROM A FEW DAYS TO A FEW WEEKS) DURING THE GROWING SEASON, BUT THE WATER TABLE USUALLY LIES WELL BELOW THE GROUND SURFACE FOR THE MOST OF THE SEASON.

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COMMONWEALTH OF VIRGINIA
Christopher D. Morin
CHRISTOPHER D. MORIN
 6.22.23
 No. 032984
 PROFESSIONAL ENGINEER

REVISIONS	NO.	DATE	DESCRIPTION	BY
	A	06-02-23	PRELIMINARY ZONING DRAWINGS	AGT
	B	06-13-23	PRELIMINARY ZONING DRAWINGS	AGT
	C	06-15-23	PRELIMINARY ZONING DRAWINGS	AGT
	D	06-21-23	PRELIMINARY ZONING DRAWINGS	AGT
	E	06-22-23	FINAL ZONING DRAWINGS	AGT

DRAWN BY: **AGT**
 CHECKED BY: **BMQ**
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SITE NAME
BERRY HILL

BUSINESS UNIT NUMBER
831969

SITE ADDRESS
**5961 BERRY HILL ROAD
 DANVILLE, VA 24069**

SHEET TITLE
**NATIONAL WETLANDS
 INVENTORY MAP**
 SHEET NUMBER

NATIONAL WETLANDS INVENTORY (NWI) MAP SHOWING SUBJECT PARCEL

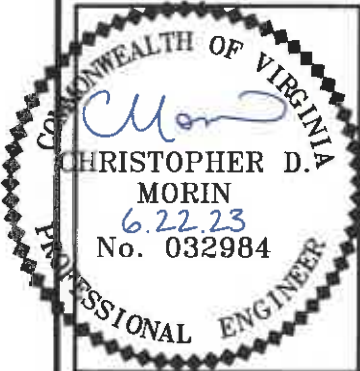
SCALE: 1"=600' (11"X17")
 1"=300' (24"X36")

VIRGINIA EROSION AND SEDIMENT CONTROL PLAN MINIMUM STANDARDS (MS) CHECKLIST

YES	N/A	4VACS0-30-40 MINIMUM STANDARDS	DESCRIBE HOW MS IS ADDRESSED ON PLAN	MS INSTRUCTIONS FOR CONTRACTOR
●		MS1: PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED WITHIN SEVEN DAYS TO DENUDED AREAS THAT MAY NOT BE AT FINAL GRADE BUT WILL REMAIN DORMANT FOR LONGER THAN 14 DAYS. PERMANENT STABILIZATION SHALL BE APPLIED TO AREAS THAT ARE TO BE LEFT DORMANT FOR MORE THAN ONE YEAR.	SHOWN ON SHEET G-1	
●		MS2: DURING CONSTRUCTION OF THE PROJECT, SOIL STOCK PILES AND BORROW AREAS SHALL BE STABILIZED OR PROTECTED WITH SEDIMENT TRAPPING MEASURES. THE APPLICANT IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION OF ALL SOIL STOCKPILES ON SITE AS WELL AS BORROW AREAS AND SOIL INTENTIONALLY TRANSPORTED FROM THE PROJECT SITE.		
●		MS3: A PERMANENT VEGETATIVE COVER SHALL BE ESTABLISHED ON DENUDED AREAS NOT OTHERWISE PERMANENTLY STABILIZED. PERMANENT VEGETATION SHALL NOT BE CONSIDERED ESTABLISHED UNTIL A GROUND COVER IS ACHIEVED THAT IS UNIFORM, MATURE ENOUGH TO SURVIVE AND WILL INHIBIT EROSION.	PERMANENT SEEDING (SHEETS G-8A TO G-8C)	NOTES (G-8C)
●		MS4: SEDIMENT BASINS AND TRAPS, PERIMETER DIKES, SEDIMENT BARRIERS AND OTHER MEASURES INTENDED TO TRAP SEDIMENT SHALL BE CONSTRUCTED AS A FIRST STEP IN ANY LAND-DISTURBING ACTIVITY AND SHALL BE MADE FUNCTIONAL BEFORE UPSLOPE LAND DISTURBANCE TAKES PLACE.	SILT FENCES ONLY (SHEET G-3)	
●		MS5: STABILIZATION MEASURES SHALL BE APPLIED TO EARTHEN STRUCTURES SUCH AS DAMS, DIKES AND DIVERSIONS IMMEDIATELY AFTER INSTALLATION.		
●		MS6: SEDIMENT TRAPS AND SEDIMENT BASINS SHALL BE DESIGNED AND CONSTRUCTED BASED UPON THE TOTAL DRAINAGE AREA TO BE SERVED BY THE TRAP OR BASIN. A. THE MINIMUM STORAGE CAPACITY OF A SEDIMENT TRAP SHALL BE 134 CUBIC YARDS PER ACRE OF DRAINAGE AREA AND THE TRAP SHALL ONLY CONTROL DRAINAGE AREAS LESS THAN THREE ACRES. B. SURFACE RUNOFF FROM DISTURBED AREAS THAT IS COMPRISED OF FLOW FROM DRAINAGE AREAS GREATER THAN OR EQUAL TO THREE ACRES SHALL BE CONTROLLED BY A SEDIMENT BASIN. THE MINIMUM STORAGE CAPACITY OF A SEDIMENT BASIN SHALL BE 134 CUBIC YARDS PER ACRE OF DRAINAGE AREA. THE OUTFALL SYSTEM SHALL, AT A MINIMUM, MAINTAIN THE STRUCTURAL INTEGRITY OF THE BASIN DURING A 25-YEAR STORM OF 24-HOUR DURATION. RUNOFF COEFFICIENTS USED IN RUNOFF CALCULATIONS SHALL CORRESPOND TO A BARE EARTH CONDITION OR THOSE CONDITIONS EXPECTED TO EXIST WHILE THE SEDIMENT BASIN IS UTILIZED.		
●		MS7: CUT AND FILL SLOPES SHALL BE DESIGNED AND CONSTRUCTED IN A MANNER THAT WILL MINIMIZE EROSION. SLOPES THAT ARE FOUND TO BE ERODING EXCESSIVELY WITHIN ONE YEAR OF PERMANENT STABILIZATION SHALL BE PROVIDED WITH ADDITIONAL SLOPE STABILIZING MEASURES UNTIL THE PROBLEM IS CORRECTED.	2:1 SLOPES ONLY	
●		MS8: CONCENTRATED RUNOFF SHALL NOT FLOW DOWN CUT OR FILL SLOPES UNLESS CONTAINED WITHIN AN ADEQUATE TEMPORARY OR PERMANENT CHANNEL, FLUME OR SLOPE DRAIN STRUCTURE.		
●		MS9: WHENEVER WATER SEEPS FROM A SLOPE FACE, ADEQUATE DRAINAGE OR OTHER PROTECTION SHALL BE PROVIDED.		
●		MS10: ALL STORM SEWER INLETS THAT ARE MADE OPERABLE DURING CONSTRUCTION SHALL BE PROTECTED SO THAT SEDIMENT-LADEN WATER CANNOT ENTER THE CONVEYANCE SYSTEM WITHOUT FIRST BEING FILTERED OR OTHERWISE TREATED TO REMOVE SEDIMENT.		
●		MS11: BEFORE NEWLY CONSTRUCTED STORMWATER CONVEYANCE CHANNELS OR PIPES ARE MADE OPERATIONAL, ADEQUATE OUTLET PROTECTION AND ANY REQUIRED TEMPORARY OR PERMANENT CHANNEL LINING SHALL BE INSTALLED IN BOTH THE CONVEYANCE CHANNEL AND RECEIVING CHANNEL.		
●		MS12: WHEN WORK IN A LIVE WATERCOURSE IS PERFORMED, PRECAUTIONS SHALL BE TAKEN TO MINIMIZE ENCROACHMENT, CONTROL SEDIMENT TRANSPORT AND STABILIZE THE WORK AREA TO THE GREATEST EXTENT POSSIBLE DURING CONSTRUCTION. NONERODIBLE MATERIAL SHALL BE USED FOR THE CONSTRUCTION OF CAUSEWAYS AND COFFERDAMS. EARTHEN FILL MAY BE USED FOR THESE STRUCTURES IF ARMORED BY NONERODIBLE COVER MATERIALS.		
●		MS13: WHEN A LIVE WATERCOURSE MUST BE CROSSED BY CONSTRUCTION VEHICLES MORE THAN TWICE IN ANY SIX-MONTH PERIOD, A TEMPORARY VEHICULAR STREAM CROSSING CONSTRUCTED OF NONERODIBLE MATERIAL SHALL BE PROVIDED.		
●		MS14: ALL APPLICABLE FEDERAL, STATE AND LOCAL CHAPTERS PERTAINING TO WORKING IN OR CROSSING LIVE WATERCOURSES SHALL BE MET.		
●		MS15: THE BED AND BANKS OF A WATERCOURSE SHALL BE STABILIZED IMMEDIATELY AFTER WORK IN THE WATERCOURSE IS COMPLETED.		
●		MS16: UNDERGROUND UTILITY LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING STANDARDS IN ADDITION TO OTHER APPLICABLE CRITERIA: A. NO MORE THAN 500 LINEAR FEET OF TRENCH MAY BE OPENED AT ONE TIME. B. EXCAVATED MATERIAL SHALL BE PLACED ON THE UPHILL SIDE OF TRENCHES. C. EFFLUENT FROM DEWATERING OPERATIONS SHALL BE FILTERED OR PASSED THROUGH AN APPROVED SEDIMENT TRAPPING DEVICE, OR BOTH, AND DISCHARGED IN A MANNER THAT DOES NOT ADVERSELY AFFECT FLOWING STREAMS OR OFF-SITE PROPERTY. D. MATERIAL USED FOR BACKFILLING TRENCHES SHALL BE PROPERLY COMPACTED IN ORDER TO MINIMIZE EROSION AND PROMOTE STABILIZATION. E. RESTABILIZATION SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THIS CHAPTER. F. APPLICABLE SAFETY CHAPTERS SHALL BE COMPLIED WITH.		
●		MS17: WHERE CONSTRUCTION VEHICLE ACCESS ROUTES INTERSECT PAVED OR PUBLIC ROADS, PROVISIONS SHALL BE MADE TO MINIMIZE THE TRANSPORT OF SEDIMENT BY VEHICULAR TRACKING ONTO THE PAVED SURFACE. WHERE SEDIMENT IS TRANSPORTED ONTO A PAVED OR PUBLIC ROAD SURFACE, THE ROAD SURFACE SHALL BE CLEANED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM THE ROADS BY SHOVELING OR SWEEPING AND TRANSPORTED TO A SEDIMENT CONTROL DISPOSAL AREA. STREET WASHING SHALL BE ALLOWED ONLY AFTER SEDIMENT IS REMOVED IN THIS MANNER. THIS PROVISION SHALL APPLY TO INDIVIDUAL DEVELOPMENT LOTS AS WELL AS TO LARGER LAND-DISTURBING ACTIVITIES.	TEMPORARY CONSTRUCTION ENTRANCE (SHEET G-4)	
●		MS18: ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED, UNLESS OTHERWISE AUTHORIZED BY THE VESCP AUTHORITY. TRAPPED SEDIMENT AND THE DISTURBED SOIL AREAS RESULTING FROM THE DISPOSITION OF TEMPORARY MEASURES SHALL BE PERMANENTLY STABILIZED TO PREVENT FURTHER EROSION AND SEDIMENTATION.	TEMPORARY SEEDING NOTES (SHEET G-7)	
●		MS19: PROPERTIES AND WATERWAYS DOWNSTREAM FROM DEVELOPMENT SITES SHALL BE PROTECTED FROM SEDIMENT DEPOSITION, EROSION AND DAMAGE DUE TO INCREASES IN VOLUME, VELOCITY AND PEAK FLOW RATE OF STORMWATER RUNOFF FOR THE STATED FREQUENCY STORM OF 24-HOUR DURATION IN ACCORDANCE WITH THE FOLLOWING STANDARDS AND CRITERIA. STREAM RESTORATION AND RELOCATION PROJECTS THAT INCORPORATE NATURAL CHANNEL DESIGN CONCEPTS ARE NOT MAN-MADE CHANNELS AND SHALL BE EXEMPT FROM ANY FLOW RATE CAPACITY AND VELOCITY REQUIREMENTS FOR NATURAL OR MAN-MADE CHANNELS: A. CONCENTRATED STORMWATER RUNOFF LEAVING A DEVELOPMENT SITE SHALL BE DISCHARGED DIRECTLY INTO AN ADEQUATE NATURAL OR MAN-MADE RECEIVING CHANNEL, PIPE OR STORM SEWER SYSTEM. FOR THOSE SITES WHERE RUNOFF IS DISCHARGED INTO A PIPE OR PIPE SYSTEM, DOWNSTREAM STABILITY ANALYSES AT THE OUTFALL OF THE PIPE OR PIPE SYSTEM SHALL BE PERFORMED. B. ADEQUACY OF ALL CHANNELS AND PIPES SHALL BE VERIFIED IN THE FOLLOWING MANNER: 1) THE APPLICANT SHALL DEMONSTRATE THAT THE TOTAL DRAINAGE AREA TO THE POINT OF ANALYSIS WITHIN THE CHANNEL IS ONE HUNDRED TIMES GREATER THAN THE CONTRIBUTING DRAINAGE AREA OF THE PROJECT IN QUESTION; OR 2) (A) NATURAL CHANNELS SHALL BE ANALYZED BY THE USE OF A TWO-YEAR STORM TO VERIFY THAT STORMWATER WILL NOT OVERTOP CHANNEL BANKS NOR CAUSE EROSION OF CHANNEL BED OR BANKS. (B) ALL PREVIOUSLY CONSTRUCTED MAN-MADE CHANNELS SHALL BE ANALYZED BY THE USE OF A TEN-YEAR STORM TO VERIFY THAT STORMWATER WILL NOT OVERTOP ITS BANKS AND BY THE USE OF A TWO-YEAR STORM TO DEMONSTRATE THAT STORMWATER WILL NOT CAUSE EROSION OF CHANNEL BED OR BANKS; AND (C) PIPES AND STORM SEWER SYSTEMS SHALL BE ANALYZED BY THE USE OF A TEN-YEAR STORM TO VERIFY THAT STORMWATER WILL BE CONTAINED WITHIN THE PIPE OR SYSTEM. C. IF EXISTING NATURAL RECEIVING CHANNELS OR PREVIOUSLY CONSTRUCTED MAN-MADE CHANNELS OR PIPES ARE NOT ADEQUATE, THE APPLICANT SHALL: 1) IMPROVE THE CHANNELS TO A CONDITION WHERE A TEN-YEAR STORM WILL NOT OVERTOP THE BANKS AND A TWO-YEAR STORM WILL NOT CAUSE EROSION TO CHANNEL THE BED OR BANKS; OR 2) IMPROVE THE PIPE OR PIPE SYSTEM TO A CONDITION WHERE THE TEN-YEAR STORM IS CONTAINED WITHIN THE APPURTENANCES; 3) DEVELOP A SITE DESIGN THAT WILL NOT CAUSE THE PRE-DEVELOPMENT PEAK RUNOFF RATE FROM A TWOYEAR STORM TO INCREASE WHEN RUNOFF OUTFALLS INTO A NATURAL CHANNEL OR WILL NOT CAUSE THE PREDEVELOPMENT PEAK RUNOFF RATE FROM A TEN-YEAR STORM TO INCREASE WHEN RUNOFF OUTFALLS INTO A MANMADE CHANNEL; OR 4) PROVIDE A COMBINATION OF CHANNEL IMPROVEMENT, STORMWATER DETENTION OR OTHER MEASURES WHICH IS SATISFACTORY TO THE VESCP AUTHORITY TO PREVENT DOWNSTREAM EROSION. D. THE APPLICANT SHALL PROVIDE EVIDENCE OF PERMISSION TO MAKE THE IMPROVEMENTS. E. ALL HYDROLOGIC ANALYSES SHALL BE BASED ON THE EXISTING WATERSHED CHARACTERISTICS AND THE ULTIMATE DEVELOPMENT CONDITION OF THE SUBJECT PROJECT. F. IF THE APPLICANT CHOOSES AN OPTION THAT INCLUDES STORMWATER DETENTION, HE SHALL OBTAIN APPROVAL FROM THE VESCP OF A PLAN FOR MAINTENANCE OF THE DETENTION FACILITIES. THE PLAN SHALL SET FORTH THE MAINTENANCE REQUIREMENTS OF THE FACILITY AND THE PERSON RESPONSIBLE FOR PERFORMING THE MAINTENANCE. G. OUTFALL FROM A DETENTION FACILITY SHALL BE DISCHARGED TO A RECEIVING CHANNEL, AND ENERGY DISSIPATORS SHALL BE PLACED AT THE OUTFALL OF ALL DETENTION FACILITIES AS NECESSARY TO PROVIDE A STABILIZED TRANSITION FROM THE FACILITY TO THE RECEIVING CHANNEL. H. ALL ON-SITE CHANNELS MUST BE VERIFIED TO BE ADEQUATE. I. INCREASED VOLUMES OF SHEET FLOWS THAT MAY CAUSE EROSION OR SEDIMENTATION ON ADJACENT PROPERTY SHALL BE DIVERTED TO A STABLE OUTLET, ADEQUATE CHANNEL, PIPE OR PIPE SYSTEM, OR TO A DETENTION FACILITY. J. IN APPLYING THESE STORMWATER MANAGEMENT CRITERIA, INDIVIDUAL LOTS OR PARCELS IN A RESIDENTIAL, COMMERCIAL OR INDUSTRIAL DEVELOPMENT SHALL NOT BE CONSIDERED TO BE SEPARATE DEVELOPMENT PROJECTS. INSTEAD, THE DEVELOPMENT, AS A WHOLE, SHALL BE CONSIDERED TO BE A SINGLE DEVELOPMENT PROJECT. HYDROLOGIC PARAMETERS THAT REFLECT THE ULTIMATE DEVELOPMENT CONDITION SHALL BE USED IN ALL ENGINEERING CALCULATIONS. K. ALL MEASURES USED TO PROTECT PROPERTIES AND WATERWAYS SHALL BE EMPLOYED IN A MANNER WHICH MINIMIZES IMPACTS ON THE PHYSICAL, CHEMICAL AND BIOLOGICAL INTEGRITY OF RIVERS, STREAMS AND OTHER WATERS OF THE STATE. L. ANY PLAN APPROVED PRIOR TO JULY 1, 2014, THAT PROVIDES FOR STORMWATER MANAGEMENT THAT ADDRESSES ANY FLOW RATE CAPACITY AND VELOCITY REQUIREMENTS FOR NATURAL OR MAN-MADE CHANNELS SHALL SATISFY THE FLOW RATE CAPACITY AND VELOCITY REQUIREMENTS FOR NATURAL OR MAN-MADE CHANNELS IF THE PRACTICES ARE DESIGNED TO: I. DETAIN THE WATER QUALITY VOLUME AND TO RELEASE IT OVER 48 HOURS; II. DETAIN AND RELEASE OVER A 24-HOUR PERIOD THE EXPECTED RAINFALL RESULTING FROM THE ONE YEAR, 24- HOUR STORM; AND III. REDUCE THE ALLOWABLE PEAK FLOW RATE RESULTING FROM THE 1.5, 2, AND 10-YEAR, 24-HOUR STORMS TO A LEVEL THAT IS LESS THAN OR EQUAL TO THE PEAK FLOW RATE FROM THE SITE ASSUMING IT WAS IN A GOOD FORESTED CONDITION, ACHIEVED THROUGH MULTIPLICATION OF THE FORESTED PEAK FLOW RATE BY A REDUCTION FACTOR THAT IS EQUAL TO THE RUNOFF VOLUME FROM THE SITE WHEN IT WAS IN A GOOD FORESTED CONDITION DIVIDED BY THE RUNOFF VOLUME FROM THE SITE IN ITS PROPOSED CONDITION, AND SHALL BE EXEMPT FROM ANY FLOW RATE CAPACITY AND VELOCITY REQUIREMENTS FOR NATURAL OR MAN-MADE CHANNELS AS DEFINED IN ANY REGULATIONS PROMULGATED PURSUANT TO § 10.1-562 OR 10.1-570 OF THE ACT. M. FOR PLANS APPROVED ON AND AFTER JULY 1, 2014, THE FLOW RATE CAPACITY AND VELOCITY REQUIREMENTS OF § 10.1-561 A OF THE ACT AND THIS SUBSECTION SHALL BE SATISFIED BY COMPLIANCE WITH WATER QUANTITY REQUIREMENTS IN THE STORMWATER MANAGEMENT ACT (§ 10.1-603.2 ET SEQ. OF THE CODE OF VIRGINIA) AND ATTENDANT REGULATIONS, UNLESS SUCH LAND-DISTURBING ACTIVITIES ARE IN ACCORDANCE WITH 4VACS0-60-48 OF THE VIRGINIA STORMWATER MANAGEMENT PROGRAM (VSMPP) PERMIT REGULATIONS. N. COMPLIANCE WITH THE WATER QUANTITY MINIMUM STANDARDS SET OUT IN 4VACS0-60-66 OF THE VIRGINIA STORMWATER MANAGEMENT PROGRAM (VSMPP) PERMIT REGULATIONS SHALL BE DEEMED TO SATISFY THE REQUIREMENTS OF MINIMUM STANDARD 19.	TEMPORARY CONSTRUCTION ENTRANCE (SHEET G-4) USE OF EXISTING PIPE CULVERTS AT SITE ENTRANCE (SHEET G-1)	

MULCHING NOTES

SCALE: N.T.S.



REVISIONS	NO.	DATE	DESCRIPTION	BY	AGT	AGT	AGT	AGT	AGT
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CARRIER'S NAME

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SITE NAME:

SITE NAME

BERRY HILL

BUSINESS UNIT NUMBER

831969

SITE ADDRESS

5981 BERRY HILL ROAD
DANVILLE, VA 24069

SHEET TITLE
MINIMUM STANDARDS
(MS-19 CHECKLIST)
SHEET NUMBER

C:\Users\mfarrell\Documents\03\Drawings - 2023\Crown\031984 - Berry Hill - Conditional B - Haldeman - Playwark County, VA - 7/23's - Rev 2/7/23.dwg

DIVISION 1: STANDARD PROVISIONS

GENERAL NOTES

- DRAWINGS ARE NOT TO BE SCALED. THESE PLANS ARE INTENDED TO BE DIAGRAMMATIC ONLY. THE WORK INDICATED ON THE DRAWINGS SHALL INCLUDE FURNISHING MATERIALS, EQUIPMENT AND APPURTENANCES, AND LABOR NECESSARY TO COMPLETE THE WORK. VERIFY ALL EQUIPMENT LOCATIONS WITH PROJECT MANAGER.
- CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND DIMENSIONS ON THE JOB SITE AND CONFIRM THAT WORK AS INDICATED ON THE CONSTRUCTION DOCUMENTS (ALSO KNOWN AS CONSTRUCTION PLANS) CAN BE ACCOMPLISHED AS SHOWN BEFORE PROCEEDING.
- NOTIFY PROJECT MANAGER OF ANY MAJOR DISCREPANCY REGARDING THE CONTRACT DOCUMENTS, EXISTING CONDITIONS, AND OR DESIGN INTENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THIS CLARIFICATION PRIOR TO PROCEEDING WITH THE WORK OR RELATED WORK IN QUESTION.
- INSTALL ALL EQUIPMENT AND MATERIALS PER MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY OTHERWISE INDICATED, OR WHERE LOCAL CODES OR REGULATIONS TAKE PRECEDENCE.
- CONTRACTOR SHALL VISIT JOB SITE PRIOR TO SUBMITTING A BID TO REVIEW SCOPE OF WORK AND EXISTING SITE CONDITIONS AFFECTING THE PROPOSED PROJECT, INCLUDING BUT NOT LIMITED TO, DEMOLITION, MECHANICAL SERVICE, ELECTRICAL SERVICE, ACCESS ISSUES, DRAINAGE, AND OVERALL COORDINATION.
- ALL TELEPHONE/RADIO EQUIPMENT LAYOUT, SPECIFICATIONS, PERFORMANCE, INSTALLATION AND THEIR FINAL LOCATION ARE TO BE APPROVED BY CCUSA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING HIS WORK WITH THE WORK AND CLEARANCE REQUIRED BY OTHERS RELATED TO SAID EQUIPMENT.
- ALL WORK PERFORMED AND MATERIALS SHALL MEET THE HIGHEST TRADE STANDARDS. AS A MINIMUM STANDARD, CONFORM WITH ALL APPLICABLE CODES, REGULATIONS AND ORDINANCES HAVING JURISDICTION. CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY BEARING ON THE PERFORMANCE OF THE WORK.
- ELECTRICAL SYSTEMS SHALL BE INSTALLED PER N.E.C. AND IN ACCORDANCE WITH ALL APPLICABLE UTILITY COMPANY SPECIFICATIONS, AND LOCAL AND STATE JURISDICTIONAL CODES, ORDINANCES AND APPLICABLE REGULATIONS.
- CONTRACTOR SHALL PROVIDE CONTINUOUS SUPERVISION WHILE ANY SUBCONTRACTORS OR WORKMEN ARE ON THE JOB SITE AND SHALL SUPERVISE AND DIRECT ALL WORK. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT. POST PROPER TEMPORARY CONSTRUCTION SIGNAGE WITH EMERGENCY PHONE NUMBERS AND TEMP ASR/FAA NUMBER
- PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 2-A OR 2-A10BC WITHIN 75 FEET TRAVEL DISTANCE TO ALL PORTIONS OF THE PROJECT AREA DURING CONSTRUCTION.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL CODE REQUIREMENTS.
- CONTRACTOR SHALL PROTECT ALL EXISTING FINISHES THAT ARE TO REMAIN. CONTRACTOR SHALL REPAIR ANY DAMAGE THAT MAY OCCUR DURING CONSTRUCTION.
- SEAL ALL PENETRATIONS THROUGH FIRE RATED AREAS WITH U.L. LISTED OR F.M. APPROVED MATERIALS.
- DETAILS AND SCHEMATICS ARE TO PROPOSE OR SHOW END RESULT OF THE DESIGN. MINOR MODIFICATIONS MAY BE NECESSARY TO SUIT JOB CONDITIONS AND DIMENSIONS. SUCH MODIFICATIONS SHALL BE INCLUDED AS PART OF THE WORK. PRIOR WRITTEN APPROVAL BY CROWN IS REQUIRED.
- VERIFY ALL FINAL EQUIPMENT LOCATIONS WITH OWNER'S REPRESENTATIVE.
- DIMENSIONS ARE TO FINISH SURFACES UNLESS OTHERWISE NOTED.
- CLEANUP AND SAFETY: KEEP PROJECT AREA CLEAN, HAZARD FREE, AND DISPOSE OF ALL DIRT, DEBRIS, RUBBISH AND EQUIPMENT REMOVED AND NOT SPECIFIED AS REMAINING THE PROPERTY OF THE OWNER, ETC. LEAVE PREMISES IN A VACUUM AND BROOM CLEAN CONDITION: FREE FROM PAINT SPOTS, DUST, OR SMUDGES OF ANY NATURE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL SYSTEMS EQUIPMENT IN A CLEAN WORKING ORDER UNTIL ACCEPTANCE OF THE PROJECT BY PROJECT MANAGER.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REDLINING THE CONSTRUCTION PLANS TO ILLUSTRATE THE AS-BUILT CONDITION OF THE SITE. ALL UNDERGROUND UTILITIES AND GROUNDING SHALL BE SHOWN ON REDLINE DRAWINGS AND DIMENSIONED FROM FENCE LINES OR PADS. PHOTOGRAPHS ARE REQUIRED. TWO (2) COPIES OF REDLINED DRAWINGS WILL BE PROVIDED TO CROWN AND ONE (1) TO THE A & E FIRM FOR DEVELOPMENT OF THE AS-BUILD/SURVEY RECORD DOCUMENTS.

DIVISION 2: SITE WORK-02100

EARTHWORK AND DRAINAGE

- ACCESS ROAD, ENTRANCES, TURNAROUND AREAS, SITE/LEASE AREA AND COMPOUND AREAS ARE TO BE CONSTRUCTED TO PROVIDE PROPER DRAINAGE SO TO ENSURE EASILY MAINTENANCE AND COMPACTED, EVEN AND LEVEL SURFACES FOR CUSTOMER ENJOYMENT AND FUTURE CONSTRUCTION ACTIVITY. MATERIAL AND EQUIPMENT DELIVERIES AND MAINTENANCE PERSONNEL ACCESS.
- VEGETATION CONTROL
 - APPLY SOIL STERILIZER IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATION (USE AS NEEDED).
 - GRASS SEEDS SHALL BE APPLIED AND MAINTAINED AS RECOMMENDED BY THE SEED PRODUCER (IF REQUIRED).
 - VEGETATION LANDSCAPING, IF INCLUDED WITHIN THE CONTRACT, WILL BE PLACED AND MAINTAINED AS RECOMMENDED BY NURSERY INDUSTRY STANDARDS (IF REQUIRED).
- SEQUENCING
 - CONFIRM SURVEY STAKES AND SET ELEVATIONS PRIOR TO ANY CONSTRUCTION INCLUDING BUT NOT LIMITED TO THE FOLLOWING ITEMS:
 - TOWER PLACEMENTS AND FOUNDATION ELEVATIONS
 - EASEMENTS AND ACCESS CENTER LINES (GC IS RESPONSIBLE FOR ALL OFFSETS)
 - ENTRANCE, RADIUS POINTS AND SETBACK/RIGHT OF WAYS (IF REQUIRED)
 - LEASE AND FENCE CORNERS
 - METER BOARD PLACEMENTS (EACH POST)
 - DRAINAGE ELEVATION AND GRADING STATION ALONG THE ACCESS AND AROUND THE SITE.
 - CONSTRUCTION BENCH MARK AND ELEVATION (NEAR THE SITE) PRIOR TO ANY CONSTRUCTION
 - ACCESS GATE PLACEMENT (IF REQUIRED)
 - THE COMPLETE ROAD AND SITE AREA WILL BE GRUBBED PRIOR TO FOUNDATION CONSTRUCTION OR PLACEMENT OF BACK FILL OR SUB-BASE MATERIAL.
 - CONSTRUCT TEMPORARY CONSTRUCTION ZONE ACCESS DRIVE.
 - THE SITE AREA WILL BE BROUGHT TO SUB-BASE COURSE ELEVATION AND THE ACCESS ROAD TO BASE COURSE ELEVATION PRIOR TO FORMING FOUNDATION.
 - APPLY SOIL STERILIZER PRIOR TO PLACING BASE MATERIALS.
 - GRADE, SEED, FERTILIZE AND MULCH DISTURBED AREAS IMMEDIATELY AFTER BRINGING SITE AND ACCESS ROAD TO BASE COURSE ELEVATION, WATER TO ENSURE GROWTH.
 - REMOVE GRAVEL FROM TEMPORARY CONSTRUCTION ZONE TO AN AUTHORIZED AREA OR AS DIRECTED BY PROJECT MANAGER.
 - AFTER COMPLETION OF CONSTRUCTION BUT PRIOR TO THE FINAL PUNCH LIST INSPECTION, APPLY FOUR (4) INCHES OF STONE (1" OR SMALLER WITH FINES AND DUST) TO ALL GRAVELED AREAS (REFER TO GRAVEL PAVEMENT DETAIL).
 - AFTER APPLICATIONS OF FINAL SURFACES, APPLY SOIL STERILIZER TO THE STONE SURFACES.
- GRADING
 - UNIFORMLY GRADE AREA TO BE SMOOTH SURFACE FREE FROM IRREGULAR SURFACE CHANGES. COMPLY WITH COMPACTION REQUIREMENTS AND GRADE TO CROSS SECTION, TOPO LINES AND ELEVATIONS INDICATED.
 - COMPOUND SURFACE GRADES ARE TO BE SLOPED TO DIRECT WATER AWAY FROM EQUIPMENT AND SHELTERS TO PREVENT STANDING AND PONDING WATER.
 - COMPOUND SURFACE SHALL BE COMPACTED TO A 90% MAXIMUM DRY DENSITY TO ALLOW PROPER STERILIZATION FOR ACCESS TO ALL CUSTOMERS
 - DENSITY TESTING MAY BE REQUIRED AT CROWN'S DISCREPANCY DUE TO QUESTIONABLE COMPACTION OF FINISH SURFACE GRADE OR SUB-GRADE.
 - DITCHES/SWALES AROUND THE COMPOUND AREA AND ALONG ACCESS ROAD, SHALL BE CONSTRUCTED SO TO PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING GRADES/SLOPE AND NEW PROPOSED GRADES.
 - SITE GRADING AND DRAINAGE SHOULD BE CONSTRUCTED TO PREVENT WATER FROM ENTERING THE COMPOUND SURFACE OR THE ACCESS ROAD SUB-GRADE.
 - MOISTURE CONTROL-UNIFORMLY MOISTEN OR AERATE SUB-GRADE AND EACH SUBSEQUENT FILL OR BACK FILL LAYER BEFORE COMPACTION TO WITHIN 2% OF OPTIMUM MOISTURE CONTENT. DO NOT PLACE BACKFIELD OR FILL MATERIAL ON SURFACES THAT ARE MUDDY, FROZEN OR CONTAIN FROST, SNOW OR ICE.
 - STOCKPILING MATERIAL (TOP SOIL OR FILL DIRT) ON SITE, SHOULD BE PLACED IN AND AREA THAT CAN BE CONTROLLED TO PREVENT WATER, SNOW, OR ICE FROM EFFECTING MOISTURE CONTENT. STOCKPILES MAY HAVE TO BE COVERED TO PREVENT ADD MOISTURE SO ACCEPTABLE FILL CAN BE USED.
 - DE-WATERING-PREVENT SURFACE WATER AND SUBSURFACE OR GROUND WATER FROM ENTERING EXCAVATIONS, FROM PONDING ON PREPARED SUB-GRADE, AND FROM FLOODING PROJECT OR BUILD AREA.
 - EROSION CONTROL-MEASURES SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT.
 - ALL INLETS, DRAINS, PIPES, SWELLS, AND ROADS SHALL BE KEPT CLEAN AND FREE OF DIRT AND SILT.

S. SUBMITTALS

- BEFORE CONSTRUCTION
 - IF LANDSCAPING IS APPLICABLE TO THE CONTRACT, TWO COPIES OF THE LANDSCAPE PLAN UNDER NURSERY LETTERHEAD. IF A LANDSCAPE ALLOWANCE WAS INCLUDED IN THE CONTRACT, AN ITEMIZED LISTING OF PROPOSED COSTS UNDER NURSERY LETTERHEAD (REFER TO SITE PLAN FOR LANDSCAPING REQUIREMENTS).
 - SUBMIT FOR APPROVAL, 1/2 CUBIC FOOT OF THE PROPOSED SURFACE COURSE MATERIAL
- AFTER CONSTRUCTION
 - MANUFACTURER'S DESCRIPTION OF PRODUCT AND WARRANTY STATEMENT ON SOIL STERILIZER.
 - MANUFACTURER'S DESCRIPTION OF PRODUCT ON GRASS AND FERTILIZER.
 - LANDSCAPING WARRANTY STATEMENT.(SEE LS-1)

6. PRODUCTS

- MATERIALS
 - FILL MATERIAL - ACCEPTABLE SELECT FILL SHALL BE IN ACCORDANCE WITH (THE STATE DEPARTMENT OF HIGHWAY AND PUBLIC TRANSPORTATION DEPARTMENT STANDARD SPECIFICATION) FOR THE STATE IN WHICH THE TOWER IS TO BE CONSTRUCTED.
 - SOIL STERILIZER SHALL BE EPA REGISTERED, OF LIQUID COMPOSITION AND OF PRE EMERGENCE DESIGN.
 - SOIL STABILIZER FABRIC SHALL BE MIRAFI - 500X.
 - AGGREGATE SIZE IS BASED ON OR EQUAL TO AASHTO STANDARD.
 - EQUIPMENT
 - COMPACTION SHALL BE ACCOMPLISHED BY MECHANICAL MEANS. SUB-GRADE SHALL BE COMPACTED WITH EQUIPMENT APPROPRIATE FOR TYPE OF SUB-GRADE MATERIAL AND ACHIEVING A RUBBER TIRE PRESSURE OF 60 PSI, SHEEP'S FOOT PRESSURE OF 100 PSI, OR A VIBRATORY ROLLER WEIGHING APPROXIMATELY SIX (6) TONS.
 - SMALLER AREAS SHALL BE COMPACTED BY POWER-DRIVEN, HAND HELD TAMPERS.
 - FINISH GRADE SHALL BE COMPACTED BY SMOOTH DRUM VIBRATOR ROLLERS WEIGHING AT LEAST SIX (6) TONS.
- NOTE: DENSITY TESTING IS REQUIRED ON ACCESS ROADS BOTH SUB-GRADE AND FINISH GRADE. COMPOUND SURFACES ARE ONLY REQUIRED AT CCI DISCREPANCY. TESTING REPORTS SHOULD BE INCLUDED IN THE CLOSE-OUT DOCUMENTS PACKAGE.
- EXECUTION
 - INSPECTIONS
 - LOCAL BUILDING INSPECTORS SHALL BE NOTIFIED NO LESS THAN 48 HOURS IN ADVANCE OF CONCRETE POURS, UNLESS OTHERWISE SPECIFIED BY OWNER OR LOCAL JURISDICTION.
 - PREPARATION
 - CLEAR TREES (GROUND TO SKY), BRUSH AND DEBRIS FROM SITE AREAS AND ACCESS ROAD RIGHT-OF-WAY AS DIRECTED BY PROJECT MANAGER.
 - PRIOR TO OTHER EXCAVATION AND CONSTRUCTION EFFORTS GRUB ORGANIC MATERIAL TO A MINIMUM OF SIX (6) INCHES BELOW ORIGINAL GROUND LEVEL.
 - UNLESS OTHERWISE INSTRUCTED BY CCUSA, TRANSPORT ALL REMOVED TREE, BRUSH AND DEBRIS FROM THE PROPERTY TO AN AUTHORIZED LANDFILL.
 - PRIOR TO PLACEMENT OF FILL OR BASE MATERIALS, ROLL AND COMPACT THE SOIL.
 - WHERE UNSTABLE SOIL CONDITIONS ARE ENCOUNTERED, REMOVE AND REPLACE WITH SUITABLE SOIL.
 - INSTALLATION
 - THE SITE AND TURNAROUND AREAS SHALL BE AT THE SUB-BASE COURSE ELEVATION PRIOR TO FORMING FOUNDATIONS. GRADE OR FILL THE SITE AND ACCESS ROAD AS REQUIRED IN ORDER THAT UPON EVEN DISTRIBUTION OF SPOILS RESULTING FROM FOUNDATION EXCAVATIONS THE RESULTING GRADE WILL CORRESPOND WITH SAID SUB-BASE COURSE. ELEVATIONS ARE TO BE CALCULATED FROM FINISHED GRADES OR SLOPES INDICATED.
 - IF ANY, EXCESS SPOILS WILL BE CLEARED FROM JOB SITE AND NOT SPREAD BEYOND THE LIMITS OF LEASE PROPERTY UNLESS AUTHORIZED BY CCUSA / AS AGREEMENT BY LANDOWNER.
 - THE ACCESS ROAD SHALL BE BROUGHT TO BASE COURSE ELEVATION, PRIOR TO FOUNDATION CONSTRUCTION, TO PERMIT USE FOR EQUIPMENT PASSAGE AND OBSERVATION DURING CONSTRUCTION OF THE SITE.
 - AVOID CREATING DEPRESSIONS WHERE WATER MAY POND.
 - WHEN IMPROVING AN EXISTING ACCESS ROAD, GRADE THE EXISTING ROAD TO REMOVE ANY ORGANIC MATTER AND SMOOTH THE SURFACE BEFORE PLACING SIX (6) INCHES OF STONE, ROLL AND COMPACT.
 - PLACE FILL OR STONE IN SIX INCH MAXIMUM LIFTS AND COMPACT BEFORE PLACING NEXT LIFT.
 - THE FINISH GRADE, INCLUDING TOP SURFACE COURSE, SHALL EXTEND A MINIMUM OF TWO FOOT BEYOND THE SITE FENCE AND SHALL COVER THE AREA AS INDICATED.
 - RIPRAP SHALL BE APPLIED TO THE SIDE SLOPES OF ALL FENCED SITE AREAS, PARKING AREAS, AND TO ALL OTHER SLOPES GREATER THAN 2:1.
 - RIPRAP SHALL BE APPLIED TO THE SIDES OF DITCHES OR DRAINAGE SWALES.
 - RIPRAP ENTIRE DITCH FOR SIX FEET IN ALL DIRECTIONS AT CULVERT OPENINGS.
 - SEED, FERTILIZER AND STRAW COVER SHALL BE APPLIED TO ALL OTHER DISTURBED AREAS, AND DITCHES AND DRAINAGE SWALES, NOT OTHERWISE RIPRAPPED.
 - UNDER NO CIRCUMSTANCES WILL DITCHES, SWALES, OR CULVERTS BE PLACED SO THEY DIRECT WATER TOWARDS, OR PERMIT STANDING WATER IMMEDIATELY ADJACENT TO RAILROAD BALLAST. IF DESIGNS OR ELEVATIONS CONFLICT WITH THIS GUIDANCE THE A & E FIRM SHOULD BE ADVISED IMMEDIATELY.
 - IN DITCH LINE WITH SLOPES GREATER THAN TEN PERCENT, MOUND DIVERSIONARY HEADWALLS IN THE DITCH AT CULVERT ENTRANCES. THE HEADWALL SHALL BE POSITIONED AT AN ANGLE NO GREATER THAN 60 DEGREES OFF THE DITCH LINE. RIPRAP THE UPSTREAM SIDE OF THE HEADWALL AS WELL AS THE DITCH FOR SIX FEET ABOVE THE CULVERT ENTRANCE. AND EXITS.
 - WARRANTY
 - IN ADDITION TO THE WARRANTY ON ALL CONSTRUCTION COVERED IN THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL REPAIR ALL DAMAGE AND REPAIR AREA BACK AS CLOSE TO ORIGINAL CONDITION AS POSSIBLE TO LEASE AREA PROPERTY OR SURROUNDING CAUSED BY CONSTRUCTION.
 - SOIL STERILIZATION APPLICATION WILL GUARANTEE VEGETATION FREE ROAD AND SITE AREAS FOR ONE YEAR FROM DATE OF FINAL INSPECTION.
 - DISTURBED AREAS WILL REFLECT GROWTH OF NEW GRASS COVER PRIOR TO FINAL INSPECTION.
 - LANDSCAPING, IF INCLUDED WITHIN THE SCOPE OF THE CONTRACT, WILL BE GUARANTEED FOR ONE YEAR FROM DATE OF FINAL INSPECTION.

E. DEMOLITION

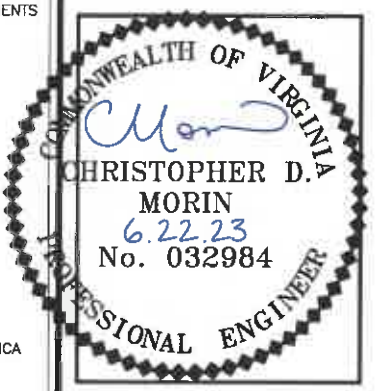
- DEMOLITION SHALL BE CONTROLLED TO PREVENT THE SPREAD OF DUST TO OCCUPIED PORTIONS OF THE BUILDING.
- EXISTING WORK TO REMAIN SHALL BE PROTECTED FROM DAMAGE. WORK DAMAGED BY CONTRACTOR SHALL BE REPAIRED TO MATCH EXISTING WORK.
- AT THE END OF EACH WORK DAY AND DURING INCLEMENT WEATHER, CLOSE ALL EXTERIOR OPENINGS WITH WEATHERPROOF COVER.
- REMOVE DEBRIS AND RUBBISH FROM THE SITE DAILY. DO NOT ALLOW DEBRIS AND RUBBISH TO ACCUMULATE IN BUILDING OR ON SITE.

DIVISION 3: CONCRETE WORKS--03310

- QUALITY ASSURANCE: COMPLY WITH PROVISIONS OF THE FOLLOWING CODES, SPECIFICATIONS AND STANDARDS, EXCEPT WHERE MORE STRINGENT REQUIREMENTS ARE SHOWN OR SPECIFIED.
 - ACI 301 "SPECIFICATION FOR STRUCTURAL CONCRETE FOR BUILDINGS", LATEST EDITION.
 - ACI 318 "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" AND ACI 318 "COMMENTARY", LATEST EDITION.
 - REINFORCING MATERIALS:
 - REINFORCING-ASTM A 615, GRADE 60 DEFORMED.
 - WELDING WIRE FABRIC-ASTM A185 WELDED STEEL WIRE FABRIC.
 - SUPPORTS FOR REINFORCEMENT: BOLSTERS, CHAIRS, SPACERS AND OTHER DEVICES FOR SPACING, AND SUPPORTING REINFORCING BARS IN PLACE. USE WIRE BAR TYPE SUPPORTS COMPLYING WITH CRSI SPECIFICATIONS.
 - CONCRETE MATERIALS:
 - PORTLAND CEMENT: ASTM C 150, TYPE 1.
 - AGGREGATES: ASTM C 330 AND APPROVED BY LOCAL D.O.T. AS ALKALI-SILICA REACTION RESISTANT.
 - AIR-ENTRAINING ADMIXTURE: ASTM C 260 CERTIFIED BY THE MANUFACTURER TO BE COMPATIBLE WITH OTHER REQUIRED ADMIXTURES.
 - PROPORTIONING AND DESIGN OF MIXES:
 - DESIGN MIX TO PROVIDE CONCRETE WITH THE FOLLOWING PROPERTIES:
 - AS PER MANUFACTURER DESIGN - TO BREAK ACCORDING TO MANUFACTURERS TESTING REQUIREMENTS.
 - WEIGHT: 145 PCF.
 - W/C RATIO: 0.44 MAXIMUM (NON AIR-ENTRAINED), 0.35 MAXIMUM C.(AIR-ENTRAINED).
 - NOTE: NO TOWER STEEL IS TO BE PLACED ON THE TOWER FOUNDATION/S UNTIL THE CONCRETE CURE STATUS IS A MINIMUM OF (50%) PERCENT OF THE TOWER MANUFACTURE'S SPECIFICATION. TESTING REPORTS ARE TO BE FORWARDED TO CROWN OR APPOINTED CONSTRUCTION MANAGER. COPIES OF THE EACH REPORT SHOULD BE INCLUDED IN THE CLOSE-OUT PACKAGE.
- CONCRETE TESTING REQUIREMENTS:**
 SAMPLING FRESH CONCRETE PER ASTM C172, EXCEPT MODIFIED FOR SLUMP TO COMPLY WITH ASTM C94.
TEST CYLINDER REQUIREMENT:
 ONE (1) SET OF SIX (6) CYLINDERS FOR EVERY 50 YARDS BATCH OR 1 SET OF 6 CYLINDERS FOR EACH POUR. CYLINDERS (1) SHOULD BE TAKEN FROM EACH TRUCK FOR AN EQUAL SAMPLING OF THE 50 YARD BATCH OR POUR.
NOTE: ALL CYLINDERS SHOULD NOT BE MOVED FROM THE SAMPLING AREA FOR A PERIOD OF 24 HOUR. ALL CYLINDER SHOULD BE COVER AND PROTECTED FROM DAMAGE AND FREEZING.
COMPRESSIVE STRENGTH TEST REQUIREMENTS:
 BREAK 1 CYLINDER AT 3, 7, 14, 28 DAYS.
NOTE: BREAKS CAN BE COMPLETED AFTER 3 DAYS AND BEFORE 14 DAYS WITH THE 2 SPACE CYLINDERS TO CONFIRM REQUIRED STRENGTH FOR STACKING TOWER STEEL.

DIVISION 4: STRUCTURAL STEEL--05120

- QUALITY ASSURANCE: COMPLY WITH PROVISIONS OF THE FOLLOWING CODES, SPECIFICATIONS AND STANDARDS, EXCEPT WHERE MORE STRINGENT REQUIREMENTS ARE SHOWN OR SPECIFIED:
 - AISC "CODE OF STANDARD PRACTICE".
 - AISC "SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS - 13TH EDITION
 - AMERICAN WELDING SOCIETY (AWS) D1.1-06, "STRUCTURAL WELDING CODE - STEEL."
- MATERIALS:
 - STRUCTURAL STEEL PLATES, SHAPES AND BARS: ASTM A 36.
 - HIGH STRENGTH THREADED FASTENERS: ASTM A 325.
 - ELECTRODES FOR WELDING: E70XX OR MATCHING FILLER AS SPECIFIED IN AWS D1.1.
 - ALL STRUCTURAL STEEL SHALL BE HOT DIP GALVANIZED IN ACCORDANCE WITH ASTM A 123.
 - E.CEMENT GROUT: IF REQUIRED BY TOWER MANUFACTURER; FOLLOW MFG. SPEC.
 - NON-METALLIC, SHRINKAGE-RESISTANT, 4000 PSI COMPRESSIVE STRENGTH GROUT, PROVIDE ONE OF THE FOLLOWING OR AN APPROVED EQUAL:
 - EUCO N.S. BY EUCLID CHEMICAL CO.
 - MASTERFLOW 713 BY MASTER BUILDERS
 - ALL TOWER STEEL THAT HAD GALVANIZING DAMAGE SHALL BE REPAIRED IN ACCORDANCE WITH ASTM A780, SECTION A2 "REPAIR USING ZINC-RICH PAINTS."



NO.	DATE	DESCRIPTION	BY	ACT	ACT	ACT	ACT
			AGT	AGT	AGT	AGT	
A	06-02-23	PRELIMINARY ZONING DRAWINGS					
B	06-13-23	PRELIMINARY ZONING DRAWINGS					
C	06-15-23	PRELIMINARY ZONING DRAWINGS					
D	06-21-23	PRELIMINARY ZONING DRAWINGS					
E	06-22-23	FINAL ZONING DRAWINGS					

DRAWN BY: AGT
 CHECKED BY: BMQ
 DRAWING DATE: 06/22/23

CARRIER'S NAME _____

SITE NUMBER: _____

SITE NAME: _____

SITE NAME: BERRY HILL

BUSINESS UNIT NUMBER _____

831969

SITE ADDRESS _____

5981 BERRY HILL ROAD
 DANVILLE, VA 24069

SHEET TITLE: GENERAL NOTES

SHEET NUMBER _____

GPS NOTES

THE FOLLOWING GPS STATISTICS UPON WHICH THIS SURVEY IS BASED HAVE BEEN PRODUCED AT THE 95% CONFIDENCE LEVEL:

POSITIONAL ACCURACY: 0.12 FEET (HORZ) 0.42 FEET (VERT)
 TYPE OF EQUIPMENT: GEOMAX ZENITH35 PRO BASE AND ROVER, DUAL FREQUENCY
 TYPE OF GPS FIELD PROCEDURE: ONLINE POSITION USER INTERFACE
 DATE OF SURVEY: 5/4/2023
 DATUM / EPOCH: NAD 83(2011)(EPOCH:2010.0000)
 PUBLISHED / FIXED CONTROL USE: N/A
 GEOID MODEL: 18
 COMBINED GRID FACTOR(S): 1.00002147 CENTERED ON THE GPS BASE POINT AS SHOWN HEREON.
 CONVERGENCE ANGLE: -0.66270556'
 BENCHMARKS USED: DM3525, DL1894, DM3527

PARENT PARCEL

OWNER: WALLER S. HAIRSTON ET AL.

SITE ADDRESS: 5981 BERRY HILL ROAD, DANVILLE, VA 24541

PARCEL ID: 1366-12-5834

AREA: 289.47 ACRES (PER TAX ASSESSOR)

ZONING: M - 1

ALL ZONING INFORMATION SHOULD BE VERIFIED WITH THE PROPER ZONING OFFICIALS

REFERENCES:

1. DEED BOOK 17 PAGE 2739
2. MAP BOOK 44 PAGE 8K



POC: IPF 3/4" RB
 N=3363080.8279
 E=11160252.8611

N52°21'58"E 2883.60'
 TIE LINE

APPROXIMATE LOCATION OF
 TIMBER AGREEMENT RESERVE AREA
 (DB 1491 PG 294)

APPROXIMATE LIMIT OF FLOOD
 ZONE 'X' (SHADED) AS SCALED FROM
 FIRM PANEL 51143C0615E

APPROXIMATE LIMIT OF FLOOD
 ZONE 'AE' AS SCALED FROM
 FIRM PANEL 51143C0615E

N/F
 DANVILLE-PITTSYLVANIA REGIONAL
 INDUSTRIAL FACILITY AUTHORITY
 PARCEL #: 1356-82-6276
 DB 8 PG 7039
 MB 44 PG 232J
 ZONED M - 2

N/F
 DANVILLE-PITTSYLVANIA REGIONAL
 INDUSTRIAL FACILITY AUTHORITY
 PARCEL #: 1356-80-4414
 DB 8 PG 7039
 MB 44 PG 232J
 ZONED M - 2

LEGEND	
POB	POINT OF BEGINNING
POC	POINT OF COMMENCEMENT
IPS	IRON PIN SET
IPF	IRON PIN FOUND
CMF	CONCRETE MONUMENT FOUND
CRB	CAPPED REBAR
RB	REBAR
RCF	REINFORCED CONCRETE PIPE
INV	INVERT
FH	FIRE HYDRANT
EP	EDGE OF PAVEMENT
CD	WATER VALVE
WV	SEWER CLEAN OUT
N/F	NOW OR FORMERLY
R/W	RIGHT-OF-WAY

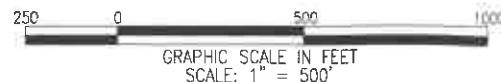
N/F
 DANVILLE-PITTSYLVANIA
 REGIONAL INDUSTRIAL FACILITY AUTHORITY
 PARCEL #: 1367-30-1931
 DB LR09 PG 04564
 ZONED M - 2

N/F
 DANVILLE-PITTSYLVANIA REGIONAL
 INDUSTRIAL FACILITY AUTHORITY
 PARCEL #: 1366-54-5996
 DB 8 PG 7039
 MB 44 PG 232K
 ZONED M - 2

N/F
 PARENT PARCEL
 WALLER S. HAIRSTON ET AL.
 PARCEL #: 1366-12-5834
 DB 17 PG 02739
 MB 44 PG 8K
 ZONED M - 1

NORFOLK SOUTHERN CORPORATION,
 DANVILLE & WESTERN RAILWAY
 (MB 44 PG 8K)

DAN RIVER



VICINITY MAP

NOT TO SCALE

GENERAL NOTES

* THIS SPECIFIC PURPOSE SURVEY IS FOR THE LEASED PREMISES AND EASEMENTS ONLY. THIS SPECIFIC PURPOSE SURVEY WAS PREPARED FOR THE EXCLUSIVE USE OF CROWN CASTLE AND EXCLUSIVELY FOR THE TRANSFERRAL OF THE LEASED PREMISES AND THE RIGHTS OF EASEMENT SHOWN HEREON AND SHALL NOT BE USED AS AN EXHIBIT OR EVIDENCE IN THE FEE SIMPLE TRANSFERRAL OF THE PARENT PARCEL NOR ANY PORTION OR PORTIONS THEREOF. BOUNDARY INFORMATION SHOWN HEREON HAS BEEN COMPILED FROM TAX MAPS AND DEED DESCRIPTIONS ONLY. NO BOUNDARY SURVEY OF THE PARENT PARCEL WAS PERFORMED.

THIS DRAWING DOES NOT REPRESENT A BOUNDARY SURVEY.

EQUIPMENT USED FOR ANGULAR & LINEAR MEASUREMENTS: GEOMAX ZOOM ROBOTIC AND/OR LEICA TS12 (DATE OF LAST FIELD VISIT: 5/4/2023). SEE GPS NOTES FOR GPS EQUIPMENT.

THE 1' CONTOURS AND SPOT ELEVATIONS SHOWN ON THIS SPECIFIC PURPOSE SURVEY ARE ADJUSTED TO NAVD 88 DATUM (COMPUTED USING GEOID18) AND HAVE A VERTICAL ACCURACY OF ± 0.5'. CONTOURS OUTSIDE THE IMMEDIATE SITE AREA ARE APPROXIMATE.

BEARINGS SHOWN ON THIS SPECIFIC PURPOSE SURVEY ARE BASED ON VIRGINIA GRID NORTH (NAD 83) SOUTH ZONE.

PER THE FEMA FLOODPLAIN MAPS, THE SITE IS LOCATED IN AN AREA DESIGNATED AS ZONE X (AREA OF MINIMAL FLOOD HAZARD). COMMUNITY PANEL NO. : 51143C0615E DATED: 9/29/2010

NO WETLAND AREAS HAVE BEEN INVESTIGATED BY THIS SPECIFIC PURPOSE SURVEY.

ALL ZONING INFORMATION SHOULD BE VERIFIED WITH THE PROPER ZONING OFFICIALS.

ANY UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM ABOVE GROUND FIELD SURVEY INFORMATION. THE SURVEYOR MAKES NO GUARANTEES THAT ANY UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT ANY UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED ANY UNDERGROUND UTILITIES.

SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THAT THIS MAP IS CORRECT AND THAT ANY VISIBLE ENCROACHMENTS ARE SHOWN HEREON.

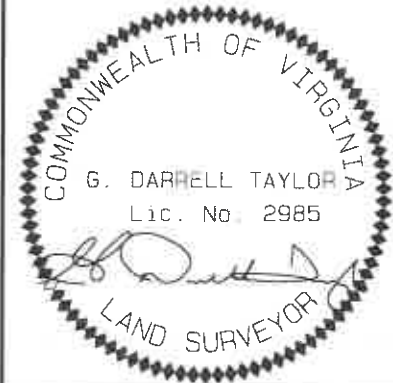
G. Darrell Taylor
 G. DARRELL TAYLOR, PLS DATE: 5/25/2023

THIS MAP IS NOT A CERTIFIED SURVEY AND HAS NOT BEEN REVIEWED BY A LOCAL GOVERNMENT AGENCY FOR COMPLIANCE WITH ANY APPLICABLE LAND DEVELOPMENT REGULATIONS. THIS MAP IS ONLY INTENDED FOR THE PARTIES AND PURPOSES SHOWN. THIS MAP IS NOT FOR RECORDATION.



Know what's below.
 Call before you dig.

SURVEY NOT VALID WITHOUT SHEET 2 & 3 OF 3



NO.	DATE	REVISION
1	6/1/23	20' LANDSCAPE ESMT.

* SPECIFIC PURPOSE SURVEY PREPARED BY:

POINT TO POINT LAND SURVEYORS
 100 Governors Trace, Ste. 103
 Peachtree City, GA 30269
 (p) 678.565.4440
 (f) 678.565.4497
 (w) pointtopointsurvey.com



SPECIFIC PURPOSE SURVEY PREPARED FOR:



6325 ARDREY KELL ROAD, SUITE 600
 CHARLOTTE, NC 28277

BERRY HILL
 BU #: 831969

5981 BERRY HILL ROAD
 DANVILLE, VA 24541
 PITTSYLVANIA COUNTY, VIRGINIA

DRAWN BY: RJH

CHECKED BY: JKL

APPROVED: G. MILLER

DATE: MAY 25, 2023

P2P JOB #: 230512VA

SHEET:

1

OF 3

E:\Dropbox (Point to Point)\P2P Current Jobs\2023\230512VA-Berry Hill\230521VA.pro

LEGAL DESCRIPTION SHEET

PARENT PARCEL (PER TITLE FILE NO. CCI-140998-0)

THEREON AND APPURTENANCES THEREUNTO BELONGING, SITUATE IN PITTSYLVANIA COUNTY, VIRGINIA, AND IN HENRY COUNTY, VIRGINIA, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

PARCEL NO. 1: SITUATE IN PITTSYLVANIA COUNTY, VIRGINIA, AND BEING ALL OF THAT CERTAIN TRACT OR PARCEL OF LAND, CONTAINING 289.474 ACRES, MORE OR LESS, LYING SOUTH OF STATE ROUTE 862, AS SHOWN ON SHEET 2 OF 2 OF THE PLAT OF SURVEY FOR WALLER S. & ELEANOR B. HAIRSTON, KAREN LOUISE SHOFFNER, DIANA J. ROMAN, JANET T. HAIRSTON AND WILLIAM H. HAIRSTON SHOWING TWO TRACTS KNOWN AS "THE HARRISON PLACE" & "OAK HILL" LYING ALONG ST. RT. 862 & ST. RT. 863, MADE BY SHANKS ASSOCIATES, P.C., ENGINEERS-SURVEYORS-PLANNERS, DATED FEBRUARY 16, 2005, RECORDED IN THE CLERK'S OFFICE OF THE CIRCUIT COURT OF PITTSYLVANIA COUNTY, VIRGINIA, IN MAP BOOK 44, AT PAGE 8J.

PARCEL ID NO.: 1366-12-5834

THIS BEING A PORTION OF THE SAME PROPERTY CONVEYED TO WALLER S. HAIRSTON, AS TO LIFE ESTATE INTEREST, ALLEN WALLER HAIRSTON, WILLIAM HUNT HAIRSTON, ANNE BARTLETT HAIRSTON-STRANG, AND SALLIE HAIRSTON MILLER, IN EQUAL SHARES AS TEANTS IN COMMON, THE REMAINDER, FROM WALLER S. HAIRSTON, WIDOWER, ALLEN WALLER HAIRSTON, WILLIAM HUNT HAIRSTON, ANNE BARTLETT HAIRSTON-STRANG, AND SALLIE HAIRSTON MILLER IN A DEED OF GIFT DATED JANUARY 3, 2017 AND RECORDED MAY 12, 2017 AS INSTRUMENT NO. 17- 02739 IN PITTSYLVANIA COUNTY, VIRGINIA.

PROPOSED LEASE AREA

ALL THAT TRACT OR PARCEL OF LAND LYING AND BEING IN PITTSYLVANIA COUNTY, VIRGINIA, AND BEING A PORTION OF THE LANDS OF WALLER S. HAIRSTON ET AL., AS RECORDED IN DEED BOOK 17 PAGE 2739, PITTSYLVANIA COUNTY RECORDS AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

TO FIND THE POINT OF BEGINNING, COMMENCE AT A 3/4-INCH REBAR FOUND ON THE WESTERN LINE OF SAID HAIRSTON LANDS, SAID REBAR HAVING A VIRGINIA GRID NORTH, NAD83, SOUTH ZONE VALUE OF N=3363080.8279 E=11160252.8618; THENCE LEAVING THE LINE OF SAID LANDS AND RUNNING, NORTH 52°21'58" EAST, 2883.60 FEET TO A POINT AND THE TRUE POINT OF BEGINNING; THENCE RUNNING, NORTH 52°13'46" WEST, 70.75 FEET TO A POINT; THENCE, NORTH 37°46'14" EAST, 70.75 FEET TO A POINT; THENCE, SOUTH 52°13'46" EAST, 70.75 FEET TO A POINT; THENCE, SOUTH 37°46'14" WEST, 70.75 FEET TO A POINT AND THE POINT OF BEGINNING.

BEARINGS BASED ON VIRGINIA GRID NORTH (NAD83) SOUTH ZONE.

SAID TRACT CONTAINS 0.1149 ACRES (5,006 SQUARE FEET), MORE OR LESS.

PROPOSED 20' LANDSCAPE EASEMENT

TOGETHER WITH A 20' LANDSCAPE EASEMENT LYING AND BEING IN PITTSYLVANIA COUNTY, VIRGINIA, AND BEING A PORTION OF THE LANDS OF WALLER S. HAIRSTON ET AL., AS RECORDED IN DEED BOOK 17 PAGE 2739, PITTSYLVANIA COUNTY RECORDS AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

TO FIND THE POINT OF BEGINNING, COMMENCE AT A 3/4-INCH REBAR FOUND ON THE WESTERN LINE OF SAID HAIRSTON LANDS, SAID REBAR HAVING A VIRGINIA GRID NORTH, NAD83, SOUTH ZONE VALUE OF N=3363080.8279 E=11160252.8618; THENCE LEAVING THE LINE OF SAID LANDS AND RUNNING, NORTH 52°21'58" EAST, 2883.60 FEET TO A POINT ON THE LEASE AREA; THENCE RUNNING ALONG SAID LEASE AREA, NORTH 52°13'46" WEST, 70.75 FEET TO A POINT; THENCE, NORTH 37°46'14" EAST, 20.38 FEET TO A POINT AND THE TRUE POINT OF BEGINNING; THENCE RUNNING WITH SAID LEASE AREA, SOUTH 37°46'14" WEST, 20.38 FEET TO A POINT; THENCE, SOUTH 52°13'46" EAST, 70.75 FEET TO A POINT; THENCE, NORTH 37°46'14" EAST, 70.75 FEET TO A POINT; THENCE, NORTH 52°13'46" WEST, 70.75 FEET TO A POINT; THENCE, SOUTH 37°46'14" WEST, 20.38 FEET TO A POINT LOCATED ON THE ACCESS AND UTILITY EASEMENT; THENCE LEAVING SAID LEASE AREA AND RUNNING WITH SAID ACCESS AND UTILITY EASEMENT, NORTH 52°13'46" WEST, 20.00 FEET TO A POINT; THENCE LEAVING SAID ACCESS AND UTILITY EASEMENT AND RUNNING, NORTH 37°46'14" EAST, 40.38 FEET TO A POINT; THENCE, SOUTH 52°13'46" EAST, 110.75 FEET TO A POINT; THENCE, SOUTH 37°46'14" WEST, 110.75 FEET TO A POINT; THENCE, NORTH 52°13'46" WEST, 110.75 FEET TO A POINT; THENCE, NORTH 37°46'14" EAST, 40.38 FEET TO A POINT LOCATED ON THE AFORESAID ACCESS AND UTILITY EASEMENT; THENCE RUNNING WITH SAID EASEMENT, SOUTH 52°13'46" EAST, 20.00 FEET TO A POINT AND THE TRUE POINT OF BEGINNING.

BEARINGS BASED ON VIRGINIA GRID NORTH (NAD83) SOUTH ZONE.

SAID EASEMENT CONTAINS 0.1329 ACRES (6,600 SQUARE FEET), MORE OR LESS.

PROPOSED 30' ACCESS & UTILITY EASEMENT

TOGETHER WITH A 30-FOOT ACCESS & UTILITY EASEMENT LYING AND BEING IN PITTSYLVANIA COUNTY, VIRGINIA, AND BEING A PORTION OF THE LANDS OF WALLER S. HAIRSTON ET AL., AS RECORDED IN DEED BOOK 17 PAGE 2739, PITTSYLVANIA COUNTY RECORDS AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

TO FIND THE POINT OF BEGINNING, COMMENCE AT A 3/4-INCH REBAR FOUND ON THE WESTERN LINE OF SAID HAIRSTON LANDS, SAID REBAR HAVING A VIRGINIA GRID NORTH, NAD83, SOUTH ZONE VALUE OF N=3363080.8279 E=11160252.8618; THENCE LEAVING THE LINE OF SAID LANDS AND RUNNING, NORTH 52°21'58" EAST, 2883.60 FEET TO A POINT ON THE LEASE AREA; THENCE RUNNING ALONG SAID LEASE AREA, NORTH 52°13'46" WEST, 70.75 FEET TO A POINT; THENCE, NORTH 37°46'14" EAST, 20.38 FEET TO A POINT AND THE TRUE POINT OF BEGINNING; THENCE LEAVING SAID LEASE AREA AND RUNNING, NORTH 52°13'46" WEST, 20.00 FEET TO A POINT; THENCE, SOUTH 37°46'14" WEST, 35.38 FEET TO A POINT; THENCE, NORTH 52°13'46" WEST, 122.55 FEET TO A POINT; THENCE, NORTH 37°46'14" EAST, 35.38 FEET TO A POINT; THENCE, NORTH 52°13'46" WEST, 122.55 FEET TO A POINT; THENCE, NORTH 62°37'12" WEST, 90.59 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF STATE ROAD 863; THENCE RUNNING ALONG SAID RIGHT-OF-WAY LINE, 30.83 FEET ALONG THE ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 5699.58 FEET AND BEING SCRIBED BY A CHORD BEARING, NORTH 38°58'35" EAST, 30.63 FEET TO A POINT; THENCE LEAVING SAID RIGHT-OF-WAY LINE AND RUNNING, SOUTH 52°37'12" EAST 87.16 FEET TO A POINT; THENCE SOUTH 52°13'46" EAST, 175.28 FEET TO A POINT; THENCE, SOUTH 37°46'14" WEST, 30.00 FEET TO A POINT AND THE POINT OF BEGINNING.

BEARINGS BASED ON VIRGINIA GRID NORTH (NAD83) SOUTH ZONE.

SAID EASEMENT CONTAINS 0.2054 ACRES (8,945 SQUARE FEET), MORE OR LESS.

TITLE EXCEPTIONS

THIS SURVEY WAS COMPLETED WITH THE AID OF TITLE WORK PREPARED BY TOWER TITLE AND CLOSING, EFFECTIVE DATE OF 10/5/2022, BEING TITLE FILE NO. CCI-140998-0, FOR THE PARENT PARCEL, TO DETERMINE THE IMPACTS OF EXISTING TITLE EXCEPTIONS.

9. RIGHT OF WAY AND EASEMENT AGREEMENT BETWEEN WALLER S. HAIRSTON, ELEANOR B. HAIRSTON, WILLIAM H. HAIRSTON BY WALLER S. HAIRSTON ; AND VVX OF VIRGINIA, INC., A VIRGINIA PUBLIC SERVICE CORPORATION, DATED AUGUST 11, 1997 AND RECORDED AUGUST 19, 1997 IN (BOOK) 1088 (PAGE) 339 (INSTRUMENT) 97-07037, IN PITTSYLVANIA COUNTY, VIRGINIA.

[THIS ITEM IS APPLICABLE TO THE PARENT PARCEL HOWEVER IT IS NOT PLOTTED HEREON BECAUSE ITS DESCRIPTION IS TOO VAGUE TO BE PLOTTED AND THEREFORE WE ARE NOT ABLE TO ASCERTAIN THE EXACT LOCATION THEREOF.]

10. TIMBER DEED BETWEEN WALLER S. HAIRSTON AND ELEANOR B. HAIRSTON, HIS WIFE, AND DANA JOHNSON ROMAN (BEING ONE AND THE SAME PERSON AS DIANA ELIZABETH ROMAN) AND WEYERHAEUSER, A STATE OF WASHINGTON CORPORATION, DATED DECEMBER 4, 2001 AND RECORDED JANUARY 2, 2002 IN (BOOK) 1279 (PAGE) 679 (INSTRUMENT) 02-00057, IN PITTSYLVANIA COUNTY, VIRGINIA.

AFFECTED BY A(N) EXTENSION AND DURATION OF TIMBER DEED AND AGREEMENT BETWEEN WALLER S. HAIRSTON AND ELEANOR B. HAIRSTON, HIS WIFE, AND DANA JOHNSON ROMAN (BEING ONE AND THE SAME PERSON AS DIANA ELIZABETH ROMAN) AND WEYERHAEUSER, A STATE OF WASHINGTON CORPORATION, DATED OCTOBER 7, 2003 AND RECORDED OCTOBER 3, 2003 IN (BOOK) 1405 (PAGE) 692 (INSTRUMENT) 03-11436, IN PITTSYLVANIA COUNTY, VIRGINIA.

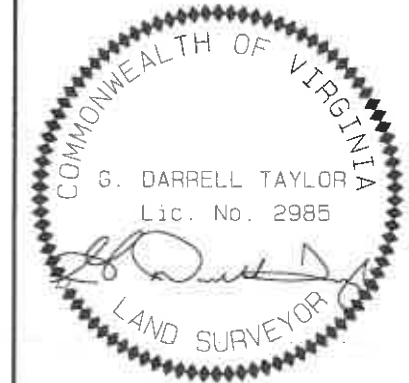
[THIS ITEM IS NOT APPLICABLE TO THE PARENT PARCEL BECAUSE IT IS LOCATED ON AN ADJACENT PROPERTY.]

11. TIMBER SALE CONTRACT BETWEEN WALLER S. HAIRSTON, ELEANOR B. HAIRSTON, JANE T. HAIRSTON, WILLIAM H. HAIRSTON, KAREN L. SHOFFNER, AND DIANA ROMAN AND MEADWESTVACO CORPORATION, DATED MARCH 24, 2005 AND RECORDED APRIL 20, 2005 IN (BOOK) 1491 (PAGE) 294 (INSTRUMENT) 05- 03431, IN PITTSYLVANIA COUNTY, VIRGINIA.

[THIS ITEM IS APPLICABLE TO THE PARENT PARCEL, PROPOSED LEASE AREA, & PROPOSED ACCESS & UTILITY EASEMENT AND ITS APPROXIMATE LOCATION IS PLOTTED HEREON.]

12. TIMBER DEED BETWEEN WALLER S. HAIRSTON AND ELEANOR B. HAIRSTON, HIS WIFE, AND WILLIAM H. HAIRSTON AND JANE T. HAIRSTON AND KAREN LOUISE SHOFFNER AND DIANA JOHNSON ROMAN AND WEYERHAEUSER, A STATE OF WASHINGTON CORPORATION, DATED MAY 22, 2009 AND RECORDED JUNE 11, 2009 IN (PAGE) 0049 (INSTRUMENT) 09-03365, IN PITTSYLVANIA COUNTY, VIRGINIA.

[THIS ITEM IS NOT APPLICABLE TO THE PARENT PARCEL BECAUSE IT IS LOCATED ON AN ADJACENT PROPERTY.]



NO.	DATE	REVISION
1	6/1/23	20' LANDSCAPE ESMT.

* SPECIFIC PURPOSE SURVEY PREPARED BY:

**POINT TO POINT
LAND SURVEYORS**
 100 Governors Trace, Ste. 103
 Peachtree City, GA 30269
 (p) 678.565.4440
 (f) 678.565.4497
 (w) pointtopointsurvey.com



SPECIFIC PURPOSE SURVEY PREPARED FOR:



6325 ARDREY KELL ROAD, SUITE 600
CHARLOTTE, NC 28277

**BERRY HILL
BU #: 831969**

5981 BERRY HILL ROAD
DANVILLE, VA 24541
PITTSYLVANIA COUNTY, VIRGINIA

DRAWN BY: RJH	SHEET:
CHECKED BY: JKL	3
APPROVED: D. MILLER	
DATE: MAY 25, 2023	
P2P JOB #: 230512VA	OF 3



Notice of Proposed Construction or Alteration - Off Airport

[Add a New Case \(Off Airport\)](#) - [Desk Reference Guide V_2018.2.1](#)

[Add a New Case \(Off Airport\) for Wind Turbines - Met Towers \(with WT Farm\) - WT-Barge Crane](#) - [Desk Reference Guide V_2018.2.1](#)

Project Name: CROWN-000798921-23 **Sponsor:** Crown Castle

Details for Case : 831969, Berry Hill Tower

[Show Project Summary](#)

Case Status

ASN: 2023-AEA-6913-OE **Date Accepted:** 06/01/2023

Status: Accepted **Date Determined:**

Letters: None

Public Comments: None **Documents:** 06/01/2023 831969_Berry Hill...

Project Documents: None

Construction / Alteration Information

Notice Of: Construction **Structure Summary**

Duration: Permanent **Structure Type:** TOWER | Antenna Tower

if Temporary: Months: Days: **Structure Name:** 831969, Berry Hill Tower

Work Schedule - Start: **FDC NOTAM:**

Work Schedule - End: **NOTAM Number:**

***For temporary cranes-Does the permanent structure require separate notice to the FAA? To find out, use the Notice Criteria Tool. If separate notice is required, please ensure it is filed. If it is not filed, please state the reason in the Description of Proposal.** **FCC Number:**

State Filing: Not filed with State **Prior ASN:**

Structure Details

Latitude: 36° 33' 32.83" N

Longitude: 79° 35' 26.89" W

Horizontal Datum: NAD83

Site Elevation (SE): 581 (nearest foot) PASSED

Structure Height (AGL): 260 (nearest foot)

Current Height (AGL): (nearest foot)

*** For notice of alteration or existing provide the current AGL height of the existing structure. Include details in the Description of Proposal**

Minimum Operating Height (AGL): (nearest foot)

*** For aeronautical study of a crane or construction equipment the maximum height should be listed above as the Structure Height (AGL). Additionally, provide the minimum operating height to avoid delays if impacts are identified that require negotiation to a reduced height. If the Structure Height and minimum operating height are the same enter the same value in both fields.**

Requested Marking/Lighting: Dual-red and medium intensity

Other :

Recommended Marking/Lighting:

Current Marking/Lighting: N/A Proposed Structure

Other :

Nearest City: Danville

Nearest State: Virginia

Description of Location: 1A attached

Description of Proposal: Construction of telecommunications tower.

Proposed Frequency Bands					
Low Freq	High Freq	Freq Unit	ERP	ERP Unit	
6	7	GHz	55	dBW	
6	7	GHz	42	dBW	
10	11.7	GHz	55	dBW	
10	11.7	GHz	42	dBW	
17.7	19.7	GHz	55	dBW	
17.7	19.7	GHz	42	dBW	
21.2	23.6	GHz	55	dBW	
21.2	23.6	GHz	42	dBW	
614	698	MHz	1000	W	
698	806	MHz	1000	W	
806	901	MHz	500	W	
806	824	MHz	500	W	
824	849	MHz	500	W	
851	866	MHz	500	W	
869	894	MHz	500	W	
896	901	MHz	500	W	
901	902	MHz	7	W	
929	932	MHz	3500	W	
930	931	MHz	3500	W	
931	932	MHz	3500	W	
932	932.5	MHz	17	dBW	
935	940	MHz	1000	W	
940	941	MHz	3500	W	
1670	1675	MHz	500	W	
1710	1755	MHz	500	W	
1850	1910	MHz	1640	W	
1850	1990	MHz	1640	W	
1930	1990	MHz	1640	W	
1990	2025	MHz	500	W	
2110	2200	MHz	500	W	
2305	2360	MHz	2000	W	
2305	2310	MHz	2000	W	
2345	2360	MHz	2000	W	
2496	2690	MHz	500	W	

[Previous](#) [Back to Search Result](#) [Next](#)



**ASAC SITE SPECIFIC EVALUATION
FOR
Site Name: BERRY HILL
Site Number: 831969
Site Location: CASCADE, VA**

**Requestors Name: Sherri Fox
Company Name: Crown Castle
Street Address: 200 Corporate Dr.
City and Zip: Canonsburg, PA 15317**

This is an evaluation based on application of surfaces identified in Federal Aviation Regulation (FAR) Part 77 and Federal Communication Commission (FCC) Rules Part 17.

EXECUTIVE SUMMARY

- ✦ The max height that can be built at this site without notice to the FAA is 200 feet AGL or 781 feet AMSL.**
- ✦ The max No Extended Study height at this site is 499 AGL, or 1080 AMSL.**
- ✦ The max no hazard height at this site is 499 AGL, or 1080 AMSL.**
- ✦ The max no marking and lighting height at this site is 200 AGL, or 781 AMSL.**

SITE DATA

Structure Type: Antenna Tower

Coordinates of site:
Lat: 36°33'32.83"
Long: 79°35'26.89"
Datum: NAD 83

Site ground elevation: 581
Total height above the ground of the entire structure (AGL): 260
Total height above mean sea level (AMSL): 841

AIRPORT/HELIPORT INFORMATION

Nearest public use or Government Use (DOD) facility: ROCKINGHAM COUNTY.

This structure will be located 8.2 NM or 49909 FT from the airport on a bearing of 241 degrees true to the airport.

Nearest private use landing facility is: BHH AVIATION.

This structure will be located 4.9 NM from the airport on a bearing of 182 degrees true to the airport.

STUDY FINDINGS

FAA FAR Part 77 paragraph 9 (FAR 77.9): (Construction or Alteration requiring notice.) (These are the imaginary surfaces that the FAA has implemented to provide general criteria for notification purposes.)

This structure does require notification to the FAA.

FAA FAR Part 77 paragraph 17(FAR 77.17): (Standards for Determining Obstructions.) (These are the imaginary surfaces that the FAA has implemented to protect aircraft safety. If any of these surfaces are penetrated, the structure may pose a Hazard to Air Navigation.)

This structure does not exceed these surfaces.

FCC Notice Requirements:
(FCC Rules, Part 17)

This structure does require notification to the FAA or FCC based on these rules.

FAA EMI:
(The FAA protects certain air navigational aids, radio transmitters, and RADAR facilities from possible interference. The distance and direction are dependent on the type of facility being evaluated. Some of these transmission and receiver facilities are listed in the National Flight Data Center (NFDC) database.)

This site would not affect any FAA air navigational aids or transmitters.

Military Airspace:

(This would include low level visual and instrument routes along with operations areas and special use airspace.)

This structure will not affect this airspace.

AM Facilities:

(The FCC protects AM radio stations from possible interference for a distance of 3.0 km for directional facilities, and 1.0 km for non-directional facilities. New changes to the FCC critical distances are calculated based on the AM transmission Movement Method Proof evaluation.)

This site was evaluated against the FCC's AM antenna database using the Movement Method proof calculations and no further action is required.

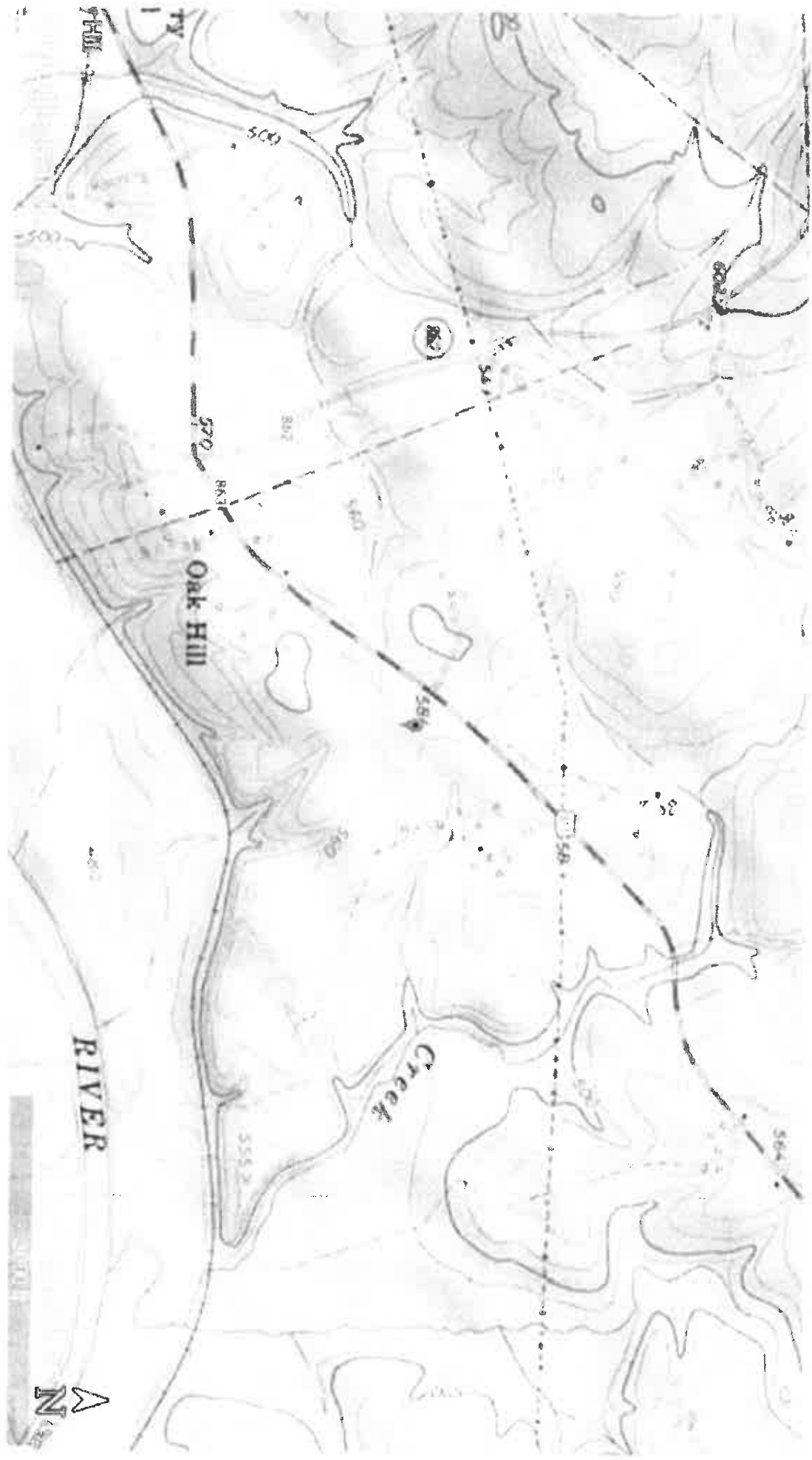
MARKING AND LIGHTING

FAA Advisory Circular 70/7460-1:

Marking and lighting is required for this structure.

RECOMMENDATIONS

This site was evaluated in accordance with the requirements specified by the FAA under Federal Aviation Rules part 77, and found not to be a hazard to air navigation.



PG 0079 MAY 12 11-02 735

Tax Account No.:
Henry County: 75.8(000)063A; 75.5(002)000B/037; 75.5(002)000B/035; 75.5(002)000B/024;
75.5(002)000B/023; 75.5(002)000B/022; 75.5(002)000B/012; 75.5(002)000B/011; 75.5(002)000B/010;
75.5(002)000B/005; 75.5(002)000B/002
Pittsylvania County: 1366-12-5834

Prepared by: Robert T. Vaughan, Jr.,
VSB No. 18722

Title Insurer: Unknown.

Grantee's Address: 313 Elm Avenue
Easton, MD 21601

Return to: Robert T. Vaughan, Jr., P.C.
772 Main Street
Danville, VA 24541

THIS DEED IS EXEMPT FROM THE TAX IMPOSED BY SECTIONS 58.1-801 AND 58.1-802,
CODE OF VIRGINIA, 1950, AS AMENDED, BY SECTION 58.1-811(D) OF SUCH CODE.

THIS DEED WAS PREPARED WITHOUT THE BENEFIT OF A TITLE EXAMINATION.

THIS DEED OF GIFT WITH LIFE ESTATE RESERVED, made this 3rd day of January,
2017, by and between WALLER S. HAIRSTON, widower, ALLEN WALLER HAIRSTON,
WILLIAM HUNT HAIRSTON, ANNE BARTLETT HAIRSTON-STRANG, and SALLIE
HAIRSTON MILLER, Grantors, parties of the first part; and WALLER S. HAIRSTON,
ALLEN WALLER HAIRSTON, WILLIAM HUNT HAIRSTON, ANNE BARTLETT
HAIRSTON-STRANG, and SALLIE HAIRSTON MILLER, Grantees, parties of the second
part;

WITNESSETH

WHEREAS, upon the death of Samuel Hairston, Jr. who died intestate, November 10,
1975, the property known as the Oak Hill Farm located in Pittsylvania County, and the Morgan

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Farm located in Henry County (collectively the "Property"), passed in equal shares as tenants in common to his children, Waller S. Hairston, Sallie H. Bullock, and Samuel Hairston, III; and

WHEREAS, Samuel H. Hairston, III, died testate a resident of Pittsylvania County, Virginia, April 4, 1981, and under his Last Will and Testament dated December 4, 1967, and recorded in the Clerk's Office of the Circuit Court of Pittsylvania County, Virginia, in Will Book 31, at page 493, devised his 1/3rd undivided interest in the Property to his surviving spouse, Jane T. Eure (formerly Jane T. Hairston); and

WHEREAS, Sallie H. Bullock died intestate, October 6, 1999, and her 1/3rd undivided interest in the Property passed to her two children and heirs at law, Karen T. Shoffner and Diane J. Roman, in equal shares as tenants in common; and

WHEREAS, by deed dated April 21, 1982, recorded in the Clerk's Office of the Circuit Court of Pittsylvania County, Virginia, in Deed Book 712, at page 295, and recorded in the Clerk's Office of the Circuit Court of Henry County, Virginia, in Deed Book 351, at page 75, Waller S. Hairston conveyed to his wife, Eleanor B. Hairston, a 1/6th, undivided interest (1/2 of his 1/3rd) (16.665%) in and to the Property; and

WHEREAS, by deed dated April 21, 1982, recorded in the Clerk's Office of the Circuit Court of Pittsylvania County, Virginia, in Deed Book 351, at page 78, and recorded in the Clerk's Office of the Circuit Court of Henry County, Virginia, in Deed Book 727, at page 273, and by deed dated July 22, 1983, recorded in the Clerk's Office of the Circuit Court of Pittsylvania County, Virginia, in Deed Book 364, at page 20, and recorded in the Clerk's Office

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772 Main Street
Danville, VA 24541

PG0081 MAY 12 2016

of the Circuit Court of Henry County, Virginia, in Deed Book 727, at page 724, Waller S. Hairston and Eleanor B. Hairston, his wife, conveyed to William H. Hairston, in total, a 1/24th undivided interest (1/8th of Waller S. Hairston's 1/3rd) (4.16625%) in and to the Property, retaining a 3/24ths (3/8th of his 1/3rd) (12.5%) in and to the Property; and

WHEREAS, by Deed of Partition dated February 14, 2005, Waller S. Hairston, Eleanor B. Hairston and William H. Hairston joined to partition and convey certain portions of the Property to Jane T. Hairston, Karen T. Shoffner and Diane J. Roman in exchange for the conveyance by Jane T. Hairston, Karen T. Shoffner and Diane J. Roman of their 2/3rds interest in and to the property hereby conveyed (the "Partitioned Property") which 2/3rds undivided interest was held according to the terms of said deed, 7/8ths undivided interest by Waller S. Hairston and Eleanor B. Hairston as tenants by the entirety and 1/8th undivided interest by William H. Hairston, without the conveyance among themselves of their initial, combined 1/3rd (16.667%) undivided interest in and to the Partitioned Property; and

WHEREAS, Eleanor B. Hairston died testate March 25, 2016, and an exemplified copy of her Last Will and Testament was recorded in the Clerk's Office of the Circuit Court of Pittsylvania County, Virginia on June 6, 2016, as Will Instrument No. CWF160000443, and recorded in the Clerk's Office of the Circuit Court of Henry County, Virginia on July 29, 2016, as File No. 16-193; and

WHEREAS, the interest of Eleanor B. Hairston in and to the Partitioned Property conveyed to her by the deed dated February 14, 2005, passed to Waller S. Hairston by

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PG0082 MAY 12 5

survivorship and the interest of Eleanor B. Hairston in and to the initial 1/3 interest (16.667%) passed to her children, Allen Waller Hairston, William H. Hairston, Anne Bartlett Hairston-Strang, and Sallie Hairston Miller, in equal shares each receiving 4.16625%, subject to a life estate for Waller S. Hairston as provided under Article Seventh of her will; and

WHEREAS, at the time of this conveyance the Partitioned Property is owned by the following persons in the percentages following their names:

Waller S. Hairston	70.835%
William H. Hairston	12.5%
William H. Hairston	4.16625% subject to life estate of Waller S. Hairston
Allen Waller Hairston	4.16625% subject to life estate of Waller S. Hairston
Anne Bartlett Hairston-Strang	4.16625% subject to life estate of Waller S. Hairston
Sallie Hairston Miller	4.16625% subject to life estate of Waller S. Hairston

WHEREAS, it is the interest and purpose of the Grantors to grant and convey by this deed their respective interest to each other such that each of the four children of Waller S. Hairston own an equal share of the Partitioned Property subject to a life estate for Waller S. Hairston and during his life.

NOW, THEREFORE, the Grantors, Waller S. Hairston, Allen Waller Hairston, William Hunt Hairston, Anne Bartlett Hairston-Strang, and Sallie Hairston Miller, as Grantors, do hereby grant, convey and reserve, with General Warranty and English Covenants of Title unto Waller S. Hairston a life estate and unto Allen Waller Hairston, William Hunt Hairston, Anne Bartlett Hairston-Strang, and Sallie Hairston Miller, in equal shares as tenants in common, the remainder, in and to those certain tracts or parcels of land, together with any improvements

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PG 0003 MAY 12 E

thereon and appurtenances thereunto belonging, situate in Pittsylvania County, Virginia, and in Henry County, Virginia, and more particularly described as follows:

PARCEL NO. 1: Situate in Pittsylvania County, Virginia, and being all of that certain tract or parcel of land, containing 289.474 acres, more or less, lying south of State Route 862, as shown on Sheet 2 of 2 of the Plat of Survey for Waller S. & Eleanor B. Hairston, Karen Louise Shoffner, Diana J. Roman, Janet T. Hairston and William H. Hairston showing two tracts known as "The Harrison Place" & "Oak Hill" lying along St. Rt. 862 & St. Rt. 863, made by Shanks Associates, P.C., Engineers-Surveyors-Planners, dated February 16, 2005, recorded in the Clerk's Office of the Circuit Court of Pittsylvania County, Virginia, in Map Book 44, at page 8J.

PARCEL NO. 2: Situate in Iriswood Magisterial District, Henry County, Virginia, being all of Tract B, containing 227.644 acres, more or less, lying to the west of Axton Road, State Route 610, as shown on Sheet 2 of 3 of Plat of Survey for Waller S. Hairston & Eleanor B. Hairston, Karen Louise Shoffner, Diana J. Roman, Jane T. Hairston and William H. Hairston showing the division of the remaining portion of the "Morgan Tract", made by Shanks Associates, P.C., Engineers-Surveyors-Planners, dated February 9, 2005, recorded in the Clerk's Office of the Circuit Court of Henry County, Virginia.

LESS AND EXCEPT Tract B1, containing 8.00 acres, more or less, as shown on that certain Plat of Survey for Aiken Summit Wesleyan Church, prepared by Piedmont Surveying and Design, P.C., dated July 8, 2008, recorded in the aforesaid Clerk's Office, conveyed to Clyde Martin, Clyde Joyce, and Harold Trimpey, as Trustees of the Aiken Summit Wesleyan Church, by deed from Waller S. Hairston and Eleanor B. Hairston, husband and wife, and William H. Hairston, married, dated September 11, 2008, recorded in the aforesaid Clerk's Office as Instrument No. 080004598, at page 33.

LESS AND EXCEPT 2.645 acres, more or less, situated on the west side of Axton Road, Iriswood District of Henry County, as shown on partial plat of survey and partial compiled map for Tommy Joe Barker and Addie Farris Barker, dated March 23, 2009 and prepared by Brian E. Jones, L.S., recorded in the aforesaid Clerk's Office, conveyed to Tommy Joe Barker and Addie Farris Barker, husband and wife, by deed from Waller S. Hairston and Eleanor B. Hairston, his wife, and William H. Hairston, dated April 21, 2009, recorded in the aforesaid Clerk's Office as Instrument No. 090001727, at page 37.)

PARCEL NO. 3: Situate in Iriswood Magisterial District, Henry County, Virginia, being all of Lot 2, Block B; Lot 5, Block B; Lot 10, Block B; Lot 11, Block B; Lot 12, Block B; Lot 35, Block B; Lot 37, Block B; Lot 22, Lot 23, Lot 24, said lots being assigned the following

5

Robert T. Vaughan, Jr., P.C.
Law Office
772 Main Street
Danville, VA 24541

PG 0084 DAY 125

respective Tax Map Identification Numbers: 75-5(002)000B/002; 75-5(002)000B/05; 75-5(002)000B/010; 75-5(002)000B/011; 75-5(002)000B/012; 75-5(002)000B/035; 75-5(002)000B/037; 75-5(002)000B/022; 75-5(002)000B/023; and 75-5(002)000B/024.

This conveyance is made subject to all recorded easements, conditions, restrictions and agreements as they may lawfully apply to the real estate hereby conveyed or any part thereof.

WITNESS the following signature and seal:

Waller S. Hairston (SEAL)
WALLER S. HAIRSTON

STATE OF ~~VIRGINIA~~ MARYLAND

CITY/COUNTY OF Caroline, to-wit:

The foregoing instrument was acknowledged before me this 7 day of April 2017, by Waller S. Hairston, widower.

My commission expires: 11/25/19

Kristen L. Lane
NOTARY PUBLIC



Robert T. Vaughan, Jr., P.C.
Law Office
772 Main Street
Denville, VA 24541

PG0005 MAY 12 2017

Allen Waller Hairston (SEAL)
ALLEN WALLER HAIRSTON

MARYLAND
STATE OF VIRGINIA

CITY/COUNTY OF Caroline, to-wit:

The foregoing instrument was acknowledged before me this 5 day of May, 2017, by Allen Waller Hairston.

My commission expires: 11/25/19

Kristen L. Lane
NOTARY PUBLIC

KRISTEN L. LANE
NOTARY PUBLIC
CAROLINE COUNTY
MARYLAND
MY COMMISSION EXPIRES 11-25-19

KRISTEN L. LANE
NOTARY PUBLIC
CAROLINE COUNTY
MARYLAND
MY COMMISSION EXPIRES 11-25-19

Robert T. Vaughan, Jr., P.C.
Law Office
772 Main Street
Danville, VA 24041

PG0006 DAN 125

William Hunt Hairston (SEAL)
WILLIAM HUNT HAIRSTON

STATE OF VIRGINIA MARYLAND

CITY/COUNTY OF Caroline, to-wit:

The foregoing instrument was acknowledged before me this 7 day of April 2017, by William Hunt Hairston.

My commission expires: 11/25/19

Kristen A. Lane
NOTARY PUBLIC



Robert T. Vaughan, Jr., P.C.
Law Office
772 Main Street
Danville, VA 24541

PG0007 MAY12E

Anne Bartlett Hairston-Strang (SEAL)
ANNE BARTLETT HAIRSTON-STRANG

STATE OF ~~VIRGINIA~~ MARYLAND

CITY/COUNTY OF Caroline, to-wit:

The foregoing instrument was acknowledged before me this 7 day of April, 2017, by Anne Bartlett Hairston-Strang.

My commission expires: 11/25/19

Kristen L. Lane
NOTARY PUBLIC



Robert T. Vaughan, Jr., P.C.
Law Office
772 Main Street
Danville, VA 24541

PG 0068 EBY 12

Sallie Hairston Miller (SEAL)
SALLIE HAIRSTON MILLER

STATE OF ~~VEROTINIA~~ MARYLAND

CITY/COUNTY OF Caroline, to-wjt:

The foregoing instrument was acknowledged before me this 7 day of April, 2017, by Sallie Hairston Miller.

My commission expires: 11/25/19
Kristen L. Lane
NOTARY PUBLIC

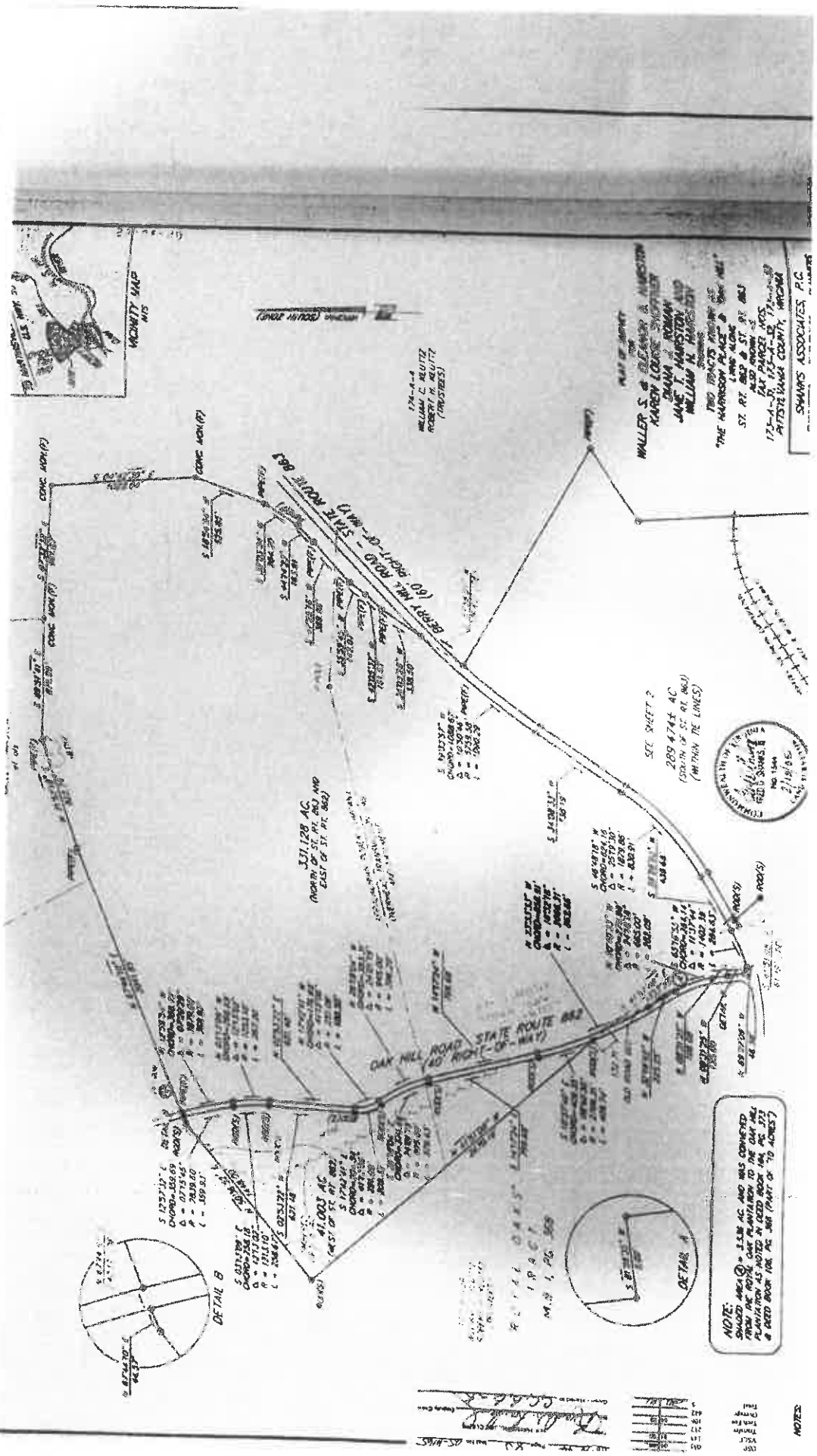


INSTRUMENT 170002739
RECORDED IN THE CLERK'S OFFICE OF
PITTSYLVANIA COUNTY ON
MAY 12, 2017 AT 01:12 PM
MARK W. SCARDE, CLERK
RECORDED BY: TBC

Robert T. Vaughan, Jr., P.C.
Law Office
773 Main Street
Danville, VA 24541

10

MAP BOOK 401 PAGE 85



NOTE:
 SHADING AREA @ 1.28 AC AND WAS DEDUCTED FROM THE TOTAL OAK PLANTATION TO THE OAK HILL PLANTATION. ALSO NOTED IN DEED BOOK 401, PG. 273 & DEED BOOK 186 PG. 287 (PART OF '10 ADRES')

NOTES

about:blank

To: Emily Ragsdale
Director
Pittsylvania County Community Development
53 N. Main Street,
Chatham, VA 24531
(434) 432-7750

From:

Re: Letter of Authorization

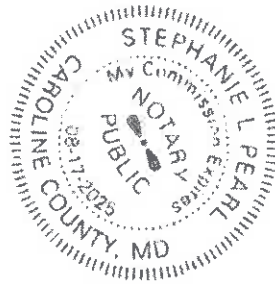
Dear Ms. Ragsdale,

I, Waller S. Hairston, hereby give Bryce Pickens of Crown Castle Towers 06-2 LLC and his attorney, Jonathan Yates, authorization to apply and sign for all Zoning & Building Permits for Pittsylvania County parcel number 1366-12-5834 in respect to their proposed communications facility to be located at 5981 Berry Hill Road, Danville, VA 24069.

Sincerely, Waller S. Hairston

BY: Stephanie L. Pearl

Date: 7-17-23



To: Emily Ragsdale
Director
Pittsylvania County Community Development
53 N. Main Street,
Chatham, VA 24531
(434) 432-7750

From:

Re: Letter of Authorization

Dear Ms. Ragsdale,

I, Allen Hairston, hereby give Bryce Pickens of Crown Castle Towers 06-2 LLC and his attorney, Jonathan Yates, authorization to apply and sign for all Zoning & Building Permits for Pittsylvania County parcel number 1366-12-5834 in respect to their proposed communications facility to be located at 5981 Berry Hill Road, Danville, VA 24069.

Sincerely,

BY: Allen Hairston

Date: 7/26/2023

To: Emily Ragsdale
Director
Pittsylvania County Community Development
53 N. Main Street,
Chatham, VA 24531
(434) 432-7750

From:

Re: Letter of Authorization

Dear Ms. Ragsdale,

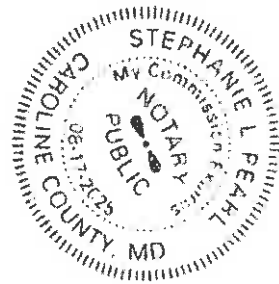
I, William H. Hairston, hereby give Bryce Pickens of Crown Castle Towers 06-2 LLC and his attorney, Jonathan Yates, authorization to apply and sign for all Zoning & Building Permits for Pittsylvania County parcel number 1366-12-5834 in respect to their proposed communications facility to be located at 5981 Berry Hill Road, Danville, VA 24069.

Sincerely,

BY: W. H. Hairston

Date: 8-17-23

Stephanie L. Pearl



To: Emily Ragsdale
Director
Pittsylvania County Community Development
53 N. Main Street,
Chatham, VA 24531
(434) 432-7750

From:

Re: Letter of Authorization

Dear Ms. Ragsdale,

I, Anne Houston-Stacy, hereby give Bryce Pickens of Crown Castle Towers 06-2 LLC and his attorney, Jonathan Yates, authorization to apply and sign for all Zoning & Building Permits for Pittsylvania County parcel number 1366-12-5834 in respect to their proposed communications facility to be located at 5981 Berry Hill Road, Danville, VA 24069.

Sincerely,

BY: Anne Houston-Stacy

Date: 7-20-23

To: Emily Ragsdale
Director
Pittsylvania County Community Development
53 N. Main Street,
Chatham, VA 24531
(434) 432-7750

From:

Re: Letter of Authorization

Dear Ms. Ragsdale,

I, Sallie H. Miller, hereby give Bryce Pickens of Crown Castle Towers 06-2 LLC and his attorney, Jonathan Yates, authorization to apply and sign for all Zoning & Building Permits for Pittsylvania County parcel number 1366-12-5834 in respect to their proposed communications facility to be located at 5981 Berry Hill Road, Danville, VA 24069.

Sincerely,

BY: Sallie H. Miller

Date: 7/13/23

Andrea G Van Horn
NOTARY PUBLIC
Queen Anne's County, Maryland
My Commission Expires 5/4/2027

STAFF SUMMARY

<u>CASE</u>	<u>ZONING REQUEST</u>	<u>CYCLE</u>
S-23-016	SUP	October 2023/November 2023
<u>SUBJECT/PROPOSAL/REQUEST</u> Arcola Towers is requesting a Special Use Permit for the placement of a cell tower.		PLANNING COMMISSION: October 3, 2023
DISTRICT: Banister Election District		BOARD OF ZONING APPEALS: November 13, 2023
		ADVERTISED: September 20 & 27, 2023, October 25, 2023 & November 1, 2023

SUBJECT

Requested by Arcola Towers, for a Special Use Permit for the placement of a cell tower in accordance with Pittsylvania County Code § 35-179. The property is 120.31 acres, located on State Road 685/Chalk Level Road in the Banister Election District and shown on the Tax Map as GPIN # 2447-07-5882.

BACKGROUND/DISCUSSION

The applicant is requesting a Special Use Permit to allow a cell tower to be constructed on the subject property. The subject property is zoned A-1, Agricultural District. According to Pittsylvania County Code § 35-179, Towers are allowed by Special Use Permit. The proposed tower will occupy approximately 0.230 acres. The proposed tower will be approximately 199 feet tall, consisting of a 197-foot monopole with a 2-foot lightning rod. Parallel Infrastructure is leasing this property from Motley Dairy, Inc., and will own the tower. Verizon and three additional carriers' equipment will be installed once the tower is constructed.

FUTURE LAND USE DESIGNATION

The Comprehensive Plan designates the future land use as Agricultural and Rural Residential.

ZONING OF SURROUNDING PROPERTIES

Mostly surrounded by A-1, Agricultural District, and R-1, Residential Suburban Subdivision District zoned properties.

SITE DEVELOPMENT PLAN

Included.

RECOMMENDATION

Staff recommends APPROVAL of Case S-23-016.

PLANNING COMMISSION MOTIONS:

1. Recommend approval of Case S-23-016 as submitted.
2. Recommend approval of Case S-23-016 subject to conditions by the Planning Commission.
3. Recommend denial of Case S-23-016 as submitted.

ATTACHMENTS:

- A. Application
- B. Maps
- C. Letter of Intent
- D. Executive Summary
- E. Petition

F. Sign Affidavit

G. Adjacent Parcel Owners

**PITTSYLVANIA COUNTY
APPLICATION FOR SPECIAL USE PERMIT**

I/We, Motley Dairy, Inc. by Jonathan L. Yates as Authorized Agent and Jonathan L. Yates on behalf of Arcola Towers, as Owner of the below described property, hereby apply to the Pittsylvania County Board of Zoning Appeals to amend the Pittsylvania County Zoning Maps as hereinafter described:

1. Property Owner's Name: Motley Dairy, Inc. Phone: (434) 432-8753
Address: 3309 Chalk Level Road, Chatham, Virginia
ZIP 24531
2. Location of Property: 5376 Chalk Level Road, Chatham, Virginia 24531
3. Tax Map Parcel Number: 2447-07-5882
4. Election District: Banister
5. Size of Property: 120.31 acres _____ acres/square feet
Size of Proposed Special Use: 100' x 100' (10,000 sf) _____ acres/square feet
6. Existing Land Use: Farmland
Existing Zoning: A-1
7. Proposed Land Use: Wireless Telecommunications Facility
8. Check completed items:
 Letter of Application Site Development Plan Legal Forms
 11" x 17" Concept Plan Application Fee Plat Map
 List of Adjoining Properties
9. Any materials relating to a particular case, including a staff recommendation or report furnished to a member of the board, shall be made available without cost to such applicant, appellant or other person aggrieved. Such materials will be sent to the following email address, unless otherwise requested.
jly@hellmanyates.com (Email)

Through application for this permit, the owner authorizes a right-of-entry to the designated personnel of Pittsylvania County for the purpose of site evaluation and monitoring for compliance with the Pittsylvania County Zoning Ordinance.



Applicant
Sworn to and subscribed before me in my presence this 25th day of August, 2023, in my City and State
aforesaid, by _____ Notary Public. My commission Expires: 5/20/24

OFFICE USE ONLY: Application No.: S-23-016

Application Deadline: 8-31-2023 P. C. Hearing Date: 10-3-2023
Received By: ESR Date Received: 8-30-2023
B.Z.A. Hearing Date: 11-13-2023 Action: _____

check #
9541

VIRGINIA

:

BEFORE THE BOARD OF ZONING APPEALS OF PITTSYLVANIA COUNTY

A 120.31 acre parcel of land,)
generally located 5376 Chalk Level Rd.)
within the Banister)
Election District, and recorded as)
parcel # 2447-07-5882 in the)
Pittsylvania County tax records.)

PETITION

TO THE BOARD OF ZONING APPEALS OF PITTSYLVANIA COUNTY:

WHEREAS, your Petitioner Jonathan L. Yates for Arcola Towers respectfully files this petition pursuant to Section 35-713 of the Pittsylvania County Zoning Ordinance and in accordance with the Code of Virginia 1950, as amended, and would respectfully show the following:

- 1) The Petitioner is the owner of the above-referenced parcel of land, or is filing with the owner's consent.
- 2) The property is presently zoned under the provisions of the Pittsylvania County Zoning Ordinance as A-1 District.
- 3) Your petitioner now desires to have a Special Use Permit issued for the purpose of a Wireless Telecommunications Facility

WHEREFORE, your petitioner respectfully requests that the above-referenced parcel of land be issued a Special Use Permit as set out in Number 3.

Further, your Petitioner respectfully requests that this petition be referred by the Secretary to the Pittsylvania County Planning Commission for its consideration and recommendation.

Respectfully submitted,


Petitioner

Sworn to and subscribed before me in my presence this 28 day of August 2023, in my City and State aforesaid, by [Signature] Notary Public. My commission Expires: 5/10/24

PITTSYLVANIA

COUNTY, VIRGINIA

OFFICE OF COMMUNITY DEVELOPMENT

P.O. Drawer D
Chatham, Virginia 24531
(434) 432-1771

SIGN AFFIDAVIT

Sec. 35-817. POSTING OF PROPERTY - PLANNING COMMISSION HEARING-

At least fourteen (14) days preceding the Commission's public hearing on a zoning map amendment, there shall be erected on the property proposed to be rezoned, a sign or signs provided by the Zoning Administrator indicating the date, time, and place of the public hearing. The sign shall be erected within ten (10) feet of whatever boundary line of such land abuts a public road and shall be so placed as to be clearly visible from the road with the bottom of the sign not less than two and one-half (2 1/2) feet above the ground. If more than one (1) such road abuts the property, then a sign shall be erected in the same manner as above for each such abutting road. If no public road abuts thereon, then signs shall be erected in the same manner as above on at least two (2) boundaries of the property abutting land not owned by the applicant.

Sec. 35-818, POSTING OF PROPERTY - BOARD OF SUPERVISORS HEARING-

When a public hearing has been scheduled before the Board of Supervisors for a Zoning Map amendment, there shall be erected, at least fourteen (14) days preceding such hearing, a sign or signs provided by the Zoning Administrator indicating the date, time and place of the public hearing. Such sign or signs shall be erected in the same manner as prescribed in Section 35-817 above.

Sec. 25-819. MAINTENANCE AND REMOVAL OF SIGNS.

Any sign erected in compliance with this section shall be maintained at all times by the applicant up to the time of the hearing. It shall be unlawful for any person, except the applicant or the Zoning Administrator or an authorized agent of either, to remove or tamper with any sign furnished during the period it is required to be maintained under this Section. All signs erected under this Section shall be removed by the applicant with fourteen (14) days following the public hearing for which it was erected.

I have read and understand Sections 35-817, 35-818, and 35-819 of the Pittsylvania County Zoning Ordinance. I understand it is my responsibility to post, maintain and remove this/these sign or signs, according to Section 35-817, Section 35-818, and 35-819. If this sign is removed or destroyed, I understand it is my responsibility to obtain another sign from the Zoning office, post the property and maintain the sign(s), according to the above Sections of the Pittsylvania County Zoning Ordinance.

Should the property not be posted and the sign(s) maintained as required above, I understand the board may defer the case.

Case ARCOLN
LEVA Applicant [Signature] Date 08-28-23

Sworn to and subscribed before me in my presence this 28th day of August, 2023, in my City and State aforesaid, by
[Signature] Notary Public. My commission Expires: 5/20/24

SPECIAL POWER OF ATTORNEY

Property Description (Tax Map Number, Street Address or Common Description, Borough):

5376 Chalk Level Road, Chatham, VA 24531

Tax Map # 2447-07-5882

I/we James T Motley For Motley Dairy Inc, am/are:

_____ the applicant for the above-referenced application

the owner(s) of the property described above

I/we do hereby make, constitute, and appoint Jonathan L. Yates, authorized agent of Arcola Towers, my/our true and lawful attorney-in-fact, and grant unto my/our attorney-in-fact full power and authority to make any and all applications and execute any related documents required in connection with all zoning and/or permitting matters related to proposed wireless communications facility, on the above described property (the "Property"), and to perform all acts and make all agreements as such person shall deem necessary or appropriate in regard to said zoning and/or permitting matters, including but not limited to the following authority: the authority to negotiate with localities; to sign and submit proffers that would constitute binding conditions on the Property; to agree to conditions and bind the Property with conditions, whether through proffers or other agreements; to sign and submit applications, agreements and/or other documents in connection with rezoning, conditional rezoning, special use permits, conditional use permits, special exceptions, zoning variances, building permits and/or any other permits related to proposed wireless communications facility, on the Property; and to modify or amend any documents in whole or in part relating to such applications, agreements and related documents.

I/we ratify all actions taken to date in connection with the zoning and/or permitting of the Property related to proposed wireless communications facility, on the Property.


Owner: Motley Dairy Inc By James T Motley

Print Name MOTLEY DAIRY INC By JAMES T MOTLEY

Commonwealth of Virginia City/County of PITTSBURGH, to-wit:

Subscribed and sworn to before me this 19th day of July, 2023, in my City and State aforesaid, by Lisa Mitchell Phipps Notary Public.

My Commission Expires: 7/30/27

 Lisa Mitchell Phipps
Commonwealth of Virginia
Notary Public
Commission No. 338746
My Commission Expires 7/30/27

GPIN	ACCOUNT HOLDER	ACCOUNT ADDRESS	ACCOUNT_MA_ATTIC_UNFIN
2437-97-0674	BAILEY, MARGARET SMITH YEATTS	5333 CHALK LEVEL RD	CHATHAM, VA 24531
2447-07-5882	MOTLEY DAIRY INC	3309 CHALK LEVEL RD	CHATHAM, VA 24531
2437-97-5917	REDD, MARK ALAN	5377 CHALK LEVEL RD	CHATHAM, VA 24531
2447-16-9200	CRIDER, ROY B	644 COLES RD	CHATHAM, VA 24531
2437-98-5066	ARNOLD, JOANN E	5413 CHALK LEVEL ROAD	CHATHAM, VA 24531
2437-86-8504	EAST, IRIS P LIFE TENANT	5413 CHALK LEVEL ROAD	CHATHAM, VA 24531
2447-06-0030	EAST, GEORGE D	4430 CHALK LEVEL RD	CHATHAM, VA 24531
2448-00-1081	BUMGARNER, CARROLL W LIFE TENANT	233 FAIRVIEW RD	CHATHAM, VA 24531
2447-19-6666	LINDQUIST, NANCY KATHRYN ET ALS	5111 GARNER AVE	PORTSMOUTH, VA 23703
2437-88-0724	EAST, SAMUEL D	2480 CHALK LEVEL RD	CHATHAM, VA 24531

S-23-016 ARCOLA TOWERS

HELLMAN YATES

ATTORNEYS AND COUNSELORS AT LAW

JONATHAN L. YATES
DIRECT VOICE 843 414-8754
JLY@HELLMANYATES.COM

HELLMAN & YATES, PA
145 KING STREET, SUITE 102
CHARLESTON, SOUTH CAROLINA 29401
V 843 266-9099
F 843 266-9188

August 28, 2023

VIA FEDERAL EXPRESS

Robin S. Vaughan
Community Development
53 North Main Street
Chatham, VA 24531
(434) 432-7750

Re: Application for construction of a 197-foot monopole-style wireless telecommunications facility to be located at 5376 Chalk Level Road, Chatham, VA 24531 (Parcel ID: # 2447-07-5882) on behalf of Arcola Towers for Verizon Wireless.

Dear Ms. Vaughan,

Arcola Towers proposes to construct and operate a 197 ft. monopole telecommunications facility to be located on the property of Motley Dairy, Inc, at 5376 Chalk Level Road, Chatham, VA 24531. The property consists of 120.31 acres and is in the A-1 zoning district. The proposed facility has been designed for Verizon Wireless and at least three additional broadband carriers.

The proposed monopole style facility will have an overall structure height of 199 feet (197 foot monopole with a 2 foot lightning rod). Arcola will have a lease area of 100 feet by 100 feet and Arcola Towers will secure a 55 foot by 55 foot area with a seven foot chain link fence topped with three strands of barbed wire as an anti-climbing device for a total height of eight feet. Arcola will plant 8 Nellie R. Stevens Holly's and 30 wax myrtles along the fence line.

The proposed monopole style facility will be set back 438 ft. away from Chalk Level Road and meets all of the required setbacks of the A-1 district. The proposed monopole style facility will have a galvanized steel finish. The proposed monopole style facility will be unmanned and will only be visited by Verizon Wireless technician approximately once a month. The proposed facility will not be illuminated and will not emit any noise, odor, vibrations, fumes, or glare.

In support of our application, we have provided the following: Site Plans and Drawings by Virginia Professional Engineer Stuart P. Patterson attached hereto as Exhibit "1" and

incorporated herein by reference; Site Survey by Virginia Land Surveyor Elizabeth R. Rosser attached hereto as Exhibit "2" and incorporated herein by reference; FAA Notice of Proposed Construction or Alteration Off-Airport and Airspace Analysis by Ken Patterson Airspace Consulting attached hereto as Exhibit "3" and incorporated herein by reference; Recorded Deeds attached hereto as Exhibit "4" and incorporated herein by reference; Recorded Plat attached hereto as Exhibit "5" and incorporated herein by reference; and Letter of Authorization by James T. Motley, President of Motley Dairy, Inc. attached hereto as Exhibit "6" and incorporated herein by reference.

The proposed monopole style facility will allow Verizon Wireless and at least three other users to provide necessary and essential wireless infrastructure to this part of Pittsylvania County. This will provide not only wireless voice and broadband, but also effective access to 911 first responders: Fire; Police; and EMS to the residents in this area. The closest towers are an American Tower 290 ft. self-support tower 3.5 miles to the southwest and a Crown Castle 195 ft. monopole tower 3.78 miles to the northwest, which do not allow for effective coverage of Verizon Wireless's intended area.

The proposed monopole style facility meets the criteria for a Special Use Permit, and is consistent with the goals and objectives of the Pittsylvania County Zoning Ordinance and Pittsylvania County Comprehensive Plan. The proposed monopole style facility is necessary to support the citizens of Pittsylvania County increased use of wireless devices for personal and business communications as well as convenience and safety communications. The proposed facility would benefit the general welfare of the citizens of Pittsylvania County by improving wireless communications and broadband infrastructure in compliance with all Pittsylvania County rules and regulations.

Upon review, please let us know if we can provide any additional information or materials in support of our application. I can be reached at (843) 414-9754 or (843) 813-0103.

Thank you so much for all your help with this.

With warmest regards, I am

Very truly yours,



Jonathan L. Yates

JLY:jlc
Enclosures



Notice of Proposed Construction or Alteration - Off Airport

Add a New Case (Off Airport) - Desk Reference Guide V_2018.2.1

Add a New Case (Off Airport) for Wind Turbines - Met Towers (with WT Farm) - WT-Barge Crane - Desk Reference Guide V_2018.2.1

Project Name: ENTRE-000806078-23 Sponsor: ENTREX

Details for Case : ARCOLA TOWERS - SHEVA

Show Project Summary

Case Status

ASN: 2023-AEA-8360-OE
 Status: Accepted
 Date Accepted: 07/11/2023
 Date Determined:
 Letters: None
 Documents: None
 Project Documents: None
 Public Comments: None

Construction / Alteration Information

Notice Of: Construction
 Duration: Permanent
 if Temporary : Months: Days:

Work Schedule - Start:

Work Schedule - End:

*For temporary cranes-Does the permanent structure require separate notice to the FAA? To find out, use the Notice Criteria Tool. If separate notice is required, please ensure it is filed. If it is not filed, please state the reason in the Description of Proposal.

State Filing:

Structure Summary

Structure Type: POLE | Monopole
 Structure Name: ARCOLA TOWERS - SHEVA
 FDC NOTAM:
 NOTAM Number:
 FCC Number:
 Prior ASN:

Structure Details

Latitude: 36° 52' 18.18" N
 Longitude: 79° 19' 43.39" W
 Horizontal Datum: NAD83
 Site Elevation (SE): 701 (nearest foot) PASSED
 Structure Height (AGL): 199 (nearest foot)
 Current Height (AGL): (nearest foot)
 * For notice of alteration or existing provide the current AGL height of the existing structure. Include details in the Description of Proposal

Minimum Operating Height (AGL): (nearest foot)
 * For aeronautical study of a crane or construction equipment the maximum height should be listed above as the Structure Height (AGL). Additionally, provide the minimum operating height to avoid delays if impacts are identified that require negotiation to a reduced height. If the Structure Height and minimum operating height are the same enter the same value in both fields.

Requested Marking/Lighting: None
 Other :

Recommended Marking/Lighting:
 Current Marking/Lighting: N/A Proposed Structure
 Other :

Nearest City: CHATHAM
 Nearest State: Virginia

Description of Location: 5376 CHALK LEVEL ROAD CHATHAM VA 24531
 On the Project Summary page upload any certified survey.

Description of Proposal: NEW 199' MONOPOLE FOR CELLULAR ANTENNAS

Proposed Frequency Bands

Low Freq	High Freq	Freq Unit	ERP	ERP Unit
6	7	GHz	55	cBW
6	7	GHz	42	dBW
10	11.7	GHz	55	dBW
10	11.7	GHz	42	dBW
17.7	19.7	GHz	55	dBW
17.7	19.7	GHz	42	dBW
21.2	23.6	GHz	55	dBW
21.2	23.6	GHz	42	dBW
614	698	MHz	1000	W
614	698	MHz	2000	W
698	806	MHz	1000	W
806	901	MHz	500	W
806	824	MHz	500	W
824	849	MHz	500	W
851	866	MHz	500	W
869	894	MHz	500	W
896	901	MHz	500	W
901	902	MHz	7	W
929	932	MHz	3500	W
930	931	MHz	3500	W
931	932	MHz	3500	W
932	932.5	MHz	17	dBW
935	940	MHz	1000	W
940	941	MHz	3500	W
1670	1675	MHz	500	W
1710	1755	MHz	500	W
1850	1910	MHz	1640	W
1850	1990	MHz	1640	W
1930	1990	MHz	1640	W
1990	2025	MHz	500	W
2110	2200	MHz	500	W
2305	2360	MHz	2000	W
2305	2310	MHz	2000	W
2345	2360	MHz	2000	W
2496	2690	MHz	500	W

Ken Patterson
Airspace Consulting, Inc.
www.airspace-ken.com

Site ID: Sheva

June 24, 2023

To Whom It May Concern:

On June 24, 2023, I personally conducted an evaluation of a proposed telecommunications site for Arcola Towers. The study was to determine if the proposed structure would create any adverse effect on navigable airspace. The site is located near Sheva, Virginia at 36° 52' 09.77" North and 79° 19' 57.04" West (NAD 83). The site elevation is 698' above mean sea level (AMSL). The proposed structure height is 199' above ground level (AGL) or 897' AMSL. Part 77 of the Federal Air Regulations and Part 17 of the FCC Rules and Regulations were used as the primary reference for this evaluation.

The closest public use or DOD landing surface is Runway 20 at Danville Regional Airport. The distance to the runway is 17.34 nautical miles on a true bearing of 000.44° from the runway.

The proposed 199' AGL (897' AMSL) structure would not exceed any FAR Part 77 or FCC Part 17 notice requirement and, therefore, notice to the FAA is not required for this structure. If filed, the 199' AGL structure should be approved by the FAA.

Normally, structures that do not require notice to the FAA do not require marking and/or lighting. Private use landing facilities and AM broadcast stations are not a factor for this study.

For additional information or questions about this study, contact my office anytime.

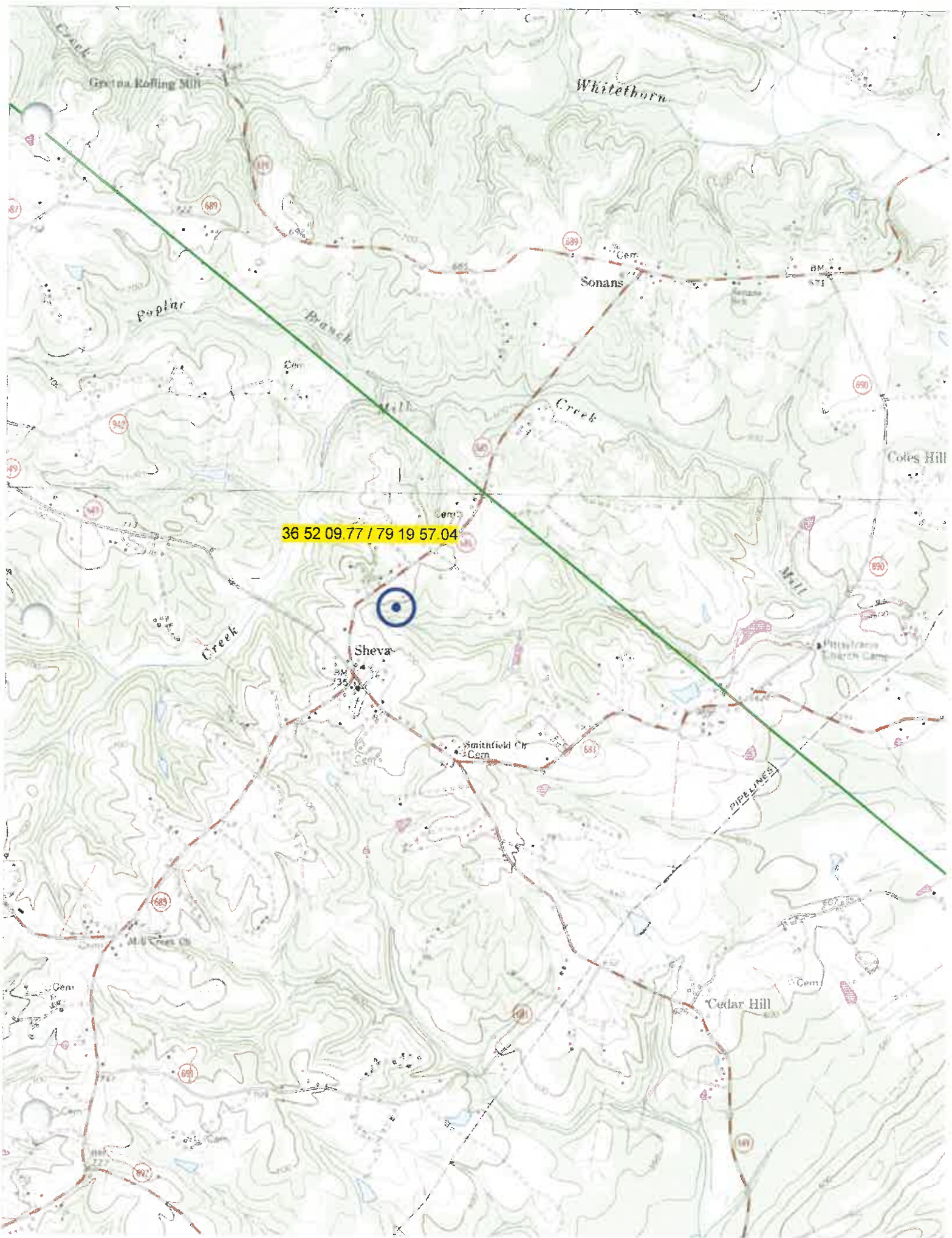
Sincerely,



Ken Patterson

KP15929

150 Discovery Lake Dr, Fayetteville, GA 30215
(770) 461-0563 kpac0@bellsouth.net



PG0047 JUN 12 2012
12-03198

Tax Account # GPIN 2447-17-3546

Prepared by: Robert T. Vaughan, Jr., P.C.

Title insurer: Unknown

Grantee's Address: 3309 Chalk Level Road
Chatham, VA 24531

Return to: Yeatts, Overbey and Ramsey, PLC

THIS DEED, made this 31st day of May, 2012, by and between MARY ANN B. MCKINNON, GLENDA PACE KURTZ, ROBERT SCOTT PACE and WESLEY EMORY PACE, JR., Grantors, parties of the first part; and MOTLEY DAIRY, INC., a Virginia corporation, Grantee, party of the second part;

WITNESSETH

THAT for and in consideration of the sum of TEN DOLLARS (\$10.00), cash in hand paid, and other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, subject to (i) the reservation of the right to remove timber from the Property for a period of thirty-six (36) months or until May 31, 2015, the conditions of which are hereafter more particularly set forth (ii) the further reservation of all minerals located in, on or under the Property, whether on or under the surface, the terms of which are hereafter more particularly set forth, and (iii) a reservation of a first right of refusal as hereafter set forth, Grantors do hereby grant and convey with General Warranty and English Covenants of Title, unto Motley Dairy, Inc., a Virginia corporation, Grantee, all that certain tract or parcel of land, together with improvements thereon and appurtenances thereunto belonging, situate in Pittsylvania County, Virginia, and more particularly described as follows:

SEE MAP BOOK
NO. 44 PAGE 145 I

Robert T. Vaughan, Jr., P.C.
Law Office
P. O. Box 1704
Danville, Virginia 24543

Given Mailed to Yeatts Overbey Ramsey

TRACT fronting on the western margin of Chalk Level Road, State Road No. 685, containing 120.31 acres, more or less, as shown on Plat Showing Resurvey of the Mary Pinkie Shelton Farm dated April 5, 2012, made by Southeast Survey Group, LTD, to be recorded in the Clerk's Office of the Circuit Court of Pittsylvania County, Virginia, contemporaneously herewith. Reference is also made to Map of Farm Near Sheva, Pitts. Co., VA, conveyed by Geo. J. Shelton to Miss Mary Pinkie Shelton dated February 16, 1915, made by Williams & Williams, recorded in the Clerk's Office of the Circuit Court of Pittsylvania County, Virginia, in Deed Book 147, at page 4 (the "Property"); and

BEING, in fact, the same property conveyed to Mary Pinkie Shelton, one and the same person as Mary Pinkie Shelton Motley and Pinkie Shelton Motley, by George J. Shelton by deed dated February 16, 1915, recorded in the Clerk's Office of the Circuit Court of Pittsylvania County, Virginia, in Deed Book 147, at page 3, to which maps and deed reference is here made for a more particular description of the Property.

Mary Pinkie Shelton Motley died testate, a resident of Pittsylvania County, Virginia, March 17, 1975. By her Last Will and Testament dated December 12, 1959, recorded in the aforesaid Clerk's Office in Will Book 26, at page 173, the Property was devised to her daughter, Mary Will Motley, for her life and upon the death of Mary Will Motley, to such of the children who may then be living together with the issue of any child who may be dead. Mary Pinkie Shelton Motley was survived by three (3) children, Mary Will Motley, Elizabeth Motley Burngarner and Ruby Motley Pace. Elizabeth Motley Burngarner died September 14, 1999, survived by one child, Mary Ann B. McKinnon. Ruby Motley Pace died November 27, 2003, survived by three children, Emory O. Pace, Jr., (one and the same person as Wesley Emory Pace, Jr.), Scott Pace (one and the same person as Robert Scott Pace), and Glenda Pace Kurtz. Mary Will Motley died intestate March 29, 2010, a resident of the City of Danville, Virginia, without issue. A list of heirs for Mary Will Motley was filed in the Clerk's Office of the Circuit Court of the City of Danville, Virginia as Will Instrument No. 11-153, at page 2, on June 9, 2011. The heirs at law of Mary Will Motley as stated in said list of heirs are Mary B. McKinnon, Glenda Pace Kurtz, Scott Pace and Emory O. Pace, Jr.

This conveyance is further made **SUBJECT** to all recorded easements, conditions, restrictions and agreements as they may lawfully apply to the real estate hereby conveyed or any part thereof.

The conveyance of the Property is further made subject to the following reservations, terms and conditions:

A. The Grantors for themselves, assigns and successors in interest, reserve the right to remove timber from the Property subject to the following terms and conditions:

Robert T. Vaughan, Jr., P.C.
Law Office
P. O. Box 1704
Danville, Virginia 24543

1. This conveyance shall cover and include all trees and timber of every sort, kind or nature, now standing within or lying on the Property, less and except trees and timber within 210 feet around all sides of the current home site located on the Property.
2. Rights to remove the timber may be assigned in whole or in part, including firewood, without the written consent of the Owners of the Property, provided the assignee agrees to the terms and conditions set forth in this Section A of this Deed. For the purposes of this Deed, Owners shall mean the Grantee and its successors or assigns.
3. Grantors shall have until May 31, 2015, to cut and remove the timber.
4. Grantors shall have the right to use all existing roads on the Property. All roads must be maintained and restored to their original or better condition upon completion of logging.
5. Any roads or decks that are constructed in connection with logging must be graded before leaving the Property.
6. All skidding, logging roads, and decks must comply with Virginia Department of Forestry Best Management Practices (BMP) guidelines, as well as with the laws of Virginia governing water quality.
7. Buffer zones must be left by the Grantors along creeks and drains where necessary to comply with BMP guidelines and laws of Virginia.
8. No logs, trees or other logging debris will be left in or across the boundary or cutting lines or in roads, fields, ponds or creeks.

Robert T. Vaughan, Jr., P.C.
Law Office
P. O. Box 1704
Danville, Virginia 24543

9. No skidding or decking shall take place on the open land, unless permitted by the Owners.

10. Owners assume responsibility for complying with the seed tree law; and no waste oil, fuel or trash shall be disposed of on the Property.

11. Grantors shall not cut any tree lines that are flagged or otherwise marked by the Owners as line or save trees.

12. No logging shall take place during excessively wet weather.

13. The Owners or their agent must be contacted by Grantors prior to the start of the logging operations, and prior to completion of logging operations, so a final inspection can be made.

14. Grantors shall indemnify and save harmless the Owners from any and all claims, suits, liability or damage arising from the logging operation.

15. Upon completion of the logging, Grantors will supply the Owners with a release.

B. Grantors for themselves, and their assigns and successors in interest reserve, perpetually, all minerals and rights to minerals in, on or under the Property, whether on or under the surface, upon the following terms:

The rights hereby expressly reserved shall be to all minerals, including but not limited to, all rights to all uranium, vanadium, other fissionable source minerals, and all other minerals of every kind and character, whatsoever, and all deposits of all such minerals and materials, which may be located under the top-soil surface layer of the Property (the "subject minerals"), with the

further reservation of a general right and privilege to enter upon the Property for the purpose of surveying, testing, exploring, prospecting, drilling for, developing, mining, stockpiling, removing, skipping and marketing any of the subject minerals, and with the further reservation of easements of ingress and egress across the Property, as may reasonably be necessary for such purposes and to construct and use buildings, roads, power and communication lines, and other improvements reasonably deemed desirable by the Grantors and their assigns and other successors in interest for the full use and benefit of the rights hereby reserved, and the right and privilege to use so much of the surface area of the property in such manner, as may be reasonable and necessary for or incidental to any of the rights hereby reserved.

Grantee, for itself, and its assigns and successors shall be entitled to receive just compensation for damages suffered to the Property and growing crops thereon, excluding economic or consequential damages, arising as a result of the aforesaid activities conducted under paragraph "B." Said damages shall be paid when incurred and shall be limited to a total cumulative amount not to exceed the fair market value of the property at the time damages first accrue, excluding the value of the mineral rights herein reserved, if included in such value.

C. The conveyance of the Property by this deed is made subject to the reservation of a right of first refusal for the benefit of the Grantors for a period of five (5) years from the date of this Deed or until May 31, 2017 (the "Right of First Refusal Period"), upon the following terms:

If the Grantee receives an offer from a third party to purchase the Property upon terms it is willing to accept or the Grantee desires to sell the Property, the terms of such offer to purchase

PG0052 JUN 12 2004

or sell shall be delivered to the Grantors by notice in writing, and the Grantors, or any one of them, shall have fifteen (15) days from the date such notice is sent to accept such offered terms, by written notice to the Grantee, and the sale of the Property shall be closed within forty-five (45) days after the notice of acceptance is sent to the Grantee. If the Grantors or any one of them fails to accept the offered terms within the fifteen (15) day notice period, the Grantee shall be free to sell the Property to a third party provided such sale is closed within ninety (90) days following the fifteen (15) day notice period. If the sale to the third party is not closed according to the offered terms within ninety (90) days following the fifteen (15) day notice period, the terms of this Right of First Refusal shall continue as to any offers to purchase or sell thereafter for the remainder of the Right of First Refusal Period. Any notice required shall be sent by regular mail and by overnight mail or courier requiring a receipt of delivery.

Any sale shall be subject to the reservations set forth in A and B above regarding the timber (if still in effect) and the subject minerals.

An affidavit of the Grantee certifying compliance with the terms of this Right of First Refusal may be relied upon by a good faith purchaser of the Property for value.

WITNESS the following signatures and seals:

Robert T. Vaughan, Jr., P.C.
Law Office
P. O. Box 1704
Daaville, Virginia 24543

PG0053 JUN 13 2012

Mary Ann B. McKinnon (SEAL)
MARY ANN B. MCKINNON

STATE OF Michigan

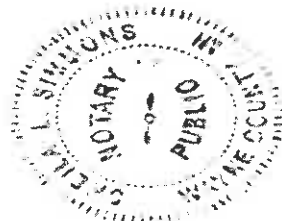
CITY/COUNTY OF Wayne, to-wit:

The foregoing instrument was acknowledged before me this 6th day of June, 2012, by Mary Ann B. McKinnon.

My commission expires: 10-23-2017

Sheila L. Simmons
NOTARY PUBLIC

SHEILA L. SIMMONS
Notary Public, State of Michigan
County of Wayne
My Commission Expires Oct. 23, 2017
Acting in the County of Wayne



Robert T. Vaughan, Jr., P.C.
Law Office
P. O. Box 1704
Danville, Virginia 24543

P60054 JUN 13 2012

Glenda Pace Kurtz (SEAL)
GLENDA PACE KURTZ

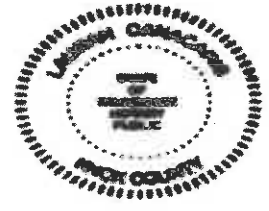
STATE OF Tennessee

CITY/COUNTY OF KNOX to-wit:

The foregoing instrument was acknowledged before me this 6th day of June, 2012, by Glenda Pace Kurtz.

My commission expires: 7/7/15

J. Canacaris
NOTARY PUBLIC



affix seal

Robert T. Vaughan, Jr., P.C.
Law Office
P. O. Box 1704
Danville, Virginia 24543

Robert Scott Pace (SEAL)
ROBERT SCOTT PACE

STATE OF Colorado

CITY/COUNTY OF Weld to-wit:

The foregoing instrument was acknowledged before me this 6th day of April, 2012, by Robert Scott Pace.

My commission expires: 2-8-2014

Mary L. Thomas
NOTARY PUBLIC

MARY L. THOMAS
Notary Public
State of Colorado
My Commission Expires: 02-08-2014

PG0056 JUN 13 2012

Wesley Emory Pace, Jr.
(SEAL)
WESLEY EMORY PACE, JR.

STATE OF Colorado

CITY/COUNTY OF Larimer to-wit:

The foregoing instrument was acknowledged before me this 16th day of June, 2012, by Wesley Emory Pace, Jr

My commission expires: 04/04/2011

[Signature]
NOTARY PUBLIC



INSTRUMENT #120003198
RECORDED IN THE CLERK'S OFFICE OF
PITTSYLVANIA COUNTY ON
JUNE 13, 2012 AT 12:09PM
\$300.00 GRANTOR TAX WAS PAID AS
REQUIRED BY SEC 58.1-802 OF THE VA. CODE
STATE: \$150.00 LOCAL: \$150.00

H. F. HAYMORE, CLERK
RECORDED BY: KKJ

Robert T. Vaughan, Jr., P.C.
Law Office
P. O. Box 1704
Danville, Virginia 24543

PG. 004 L DEC 17th
15-06257

THIS DEED PREPARED BY: ADAMS ELMORE & FISK, PLC
2 NORTH MAIN STREET
CHATHAM, VIRGINIA 24531

VSB#: 81388

THIS DEED OF EXCHANGE, made and entered into this 13th day of July, 2015, by and between MOTLEY DAIRY, INC. a Virginia corporation, acting by and through its President, James T. Motley (Grantor/ Grantee) party of the first part; and ROY B. CRIDER and CONNIE CHRISTINE B. CRIDER, husband and wife, as Tenants by the Entirety with the Right of Survivorship as at Common Law, (Grantees/Grantors) parties of the second part, and JUDITH RAMSEY MOTLEY, (also Grantor/Grantee) party of the third part.

WHEREAS, the parties hereto are exchanging parcels of the exact same acreage as per survey; RESERVING unto the parties of the second part a life estate in and to all minerals and rights to minerals in, on, or under the property, whether on or under the surface, for and during the term of their joint natural lives, Now, Therefore, This Deed of Exchange

WITNESSETH:

THAT for and in consideration and exchange of the parcels herein this day conveyed, being good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, the said party of the first part herein, as Grantor, doth hereby exchange, grant, bargain, sell and convey, with GENERAL WARRANTY OF TITLE and with ENGLISH COVENANTS OF TITLE, and the said party of third part do hereby quitclaim, remise and release, any right, title and interest she may have, unto the parties of the second part herein, as Grantees, all of that certain 10.06 acre parcel hereinafter described and in consideration of the parties hereto conveying a similar and like 10.06 acre parcel, of which, said realty being deemed by the parties hereto to be of like value, herein below conveyed of said parcels being near the community of Sheva, County of Pittsylvania, Virginia, and more particularly described as follows:

SEE MAP BOOK
NO. 44 PAGE 202 K

PART OF GPIN. 2447-17-3546

ALL OF PARCEL 2, containing 10.06 acres, as shown on a map entitled "Plat Showing Land Exchange For Motley Dairy, Inc.", dated June 11, 2015, by Elizabeth R. Rosser, Land Surveyor, a copy of which plat is recorded herewith, incorporated herein and to which reference is hereby specifically made for a more particular description of the realty herein conveyed; and, BEING, a part of the same realty conveyed Motley Dairy, Inc., A Virginia corporation, by deed dated May 31, 2012, from Mary Ann B. McKinnon, et al, a copy of which is recorded in the Clerk's Office of the Circuit Court of Pittsylvania County, Virginia as Instrument No. 12-03198, to which reference is hereby made for a more particular description of the realty herein conveyed.

SUBJECT, however, to all easements, conditions, restrictions, agreements and rights of way of record or in place and affecting said realty.

FURTHER WITNESSETH:

THAT for and in consideration and exchange of the parcels herein this day conveyed, being good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, the said parties of the second part herein, as Grantors, doth hereby exchange, grant, bargain, sell and convey, with GENERAL WARRANTY OF TITLE and with ENGLISH COVENANTS OF TITLE, unto the party of the first part and the party of the third part herein, as Grantees, all of that certain 10.06 acre parcel hereinafter described and in consideration of the aforesaid and described similar and like 10.06 acre parcel, of which, said realty being deemed by the parties hereto to be of like value, herein below conveyed of said parcels being near the community of Sheva, County of Pittsylvania, Virginia, RESERVING unto the parties of the second part a life estate in and to all minerals and rights to minerals in, on, or under the property, whether on or under the surface, for and during the term of their joint natural lives, and more particularly described as follows:

PART OF GPIN. 2447-15-8230

ALL OF PARCEL 1, containing 10.06 acres, as shown on a map entitled "Plat Showing Land Exchange For Motley Dairy, Inc.", dated June 11, 2015, by Elizabeth R. Rosser, Land Surveyor, a copy of which plat is recorded herewith, incorporated herein and to which reference is hereby specifically made for a more particular description of the realty herein conveyed; and, BEING, a part of the same realty conveyed Roy B. Crider and Connie Christine B. Crider, husband and wife, as Tenants by the Entirety with the Right of Survivorship as at Common Law, by deed dated April 24, 2007, from Jeffrey S. Crider and Rhonda B. Crider, Husband and Wife,, a copy of which is recorded in the Clerk's Office of the Circuit Court

of Pittsylvania County, Virginia as Instrument No. 07-03332, to which reference is hereby made for a more particular description of the realty herein conveyed.

SUBJECT, however, to all easements, rights of way, conditions and restrictions of record or in place and affecting said realty.

RESERVING unto the parties of the second part a life estate in and to all minerals and rights to minerals in, on, or under the property, whether on or under the surface, for and during the term of their joint natural lives.

WITNESS the following signatures and seals:

MOTLEY DAIRY, INC.,
a Virginia corporation

By: *James T. Motley* (SEAL)
JAMES T. MOTLEY, its President

Judith Ramsey Motley (SEAL)
JUDITH RAMSEY MOTLEY

Roy B. Crider (SEAL)
ROY B. CRIDER

Connie Christine Crider (SEAL)
CONNIE CHRISTINE B. CRIDER

STATE OF VIRGINIA

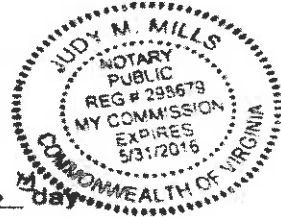
County of Pittsylvania, to-wit:

The foregoing instrument was acknowledged before me this 16 day
of Dec., 2015, by MOTLEY DAIRY, INC., a Virginia corporation, acting by
and through its President, JAMES T. MOTLEY, in my jurisdiction aforesaid.

My Commission Expires: 5/31/2016

Notary Registration No. 298679

Judy M. Mills
Notary Public



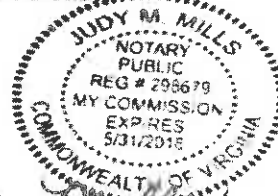
STATE OF VIRGINIA

County of Pittsylvania, to-wit:

The foregoing instrument was acknowledged before me this 16th day of Dec., 2015, by JUDITH RAMSEY MOTLEY, in my jurisdiction aforesaid.

My commission expires: 5/31/2016

Notary Registration No. 298679



Judy M. Mills
Notary Public

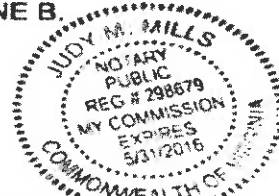
STATE OF VIRGINIA

County of Pittsylvania, to-wit:

The foregoing instrument was acknowledged before me this 16th day of Dec., 2015, by ROY B. CRIDER and CONNIE CHRISTINE B. CRIDER, husband and wife, in my jurisdiction aforesaid.

My commission expires: 5/31/2016

Notary Registration No. 298679



Judy M. Mills
Notary Public

THIS DEED WAS PREPARED WITHOUT THE BENEFIT OF A TITLE EXAMINATION.

INSTRUMENT #150006257
RECORDED IN THE CLERK'S OFFICE OF
PITTSYLVANIA COUNTY ON
DECEMBER 17, 2015 AT 11:14AM
\$45.50 GRANTOR TAX WAS PAID AS
REQUIRED BY SEC 58.1-802 OF THE VA. CODE
STATE: \$22.75 LOCAL: \$22.75

H. F. HAYMORE, CLERK
RECORDED BY: KKJ

To: Emily Ragsdale
Director
Pittsylvania County Community Development
53 N. Main Street,
Chatham, VA 24531
(434) 432-7750

From:

Re: Letter of Authorization

Dear Ms. Ragsdale,

I, James J. Motley, President of Motley Dairy Inc.,
hereby give Ryan Foltz of Arcola Towers and his attorney, Jonathan Yates,
authorization to apply and sign for all Zoning & Building Permits for Pittsylvania
County parcel number 2447-07-5882 in respect to their proposed communications
facility to be located at 5376 Chalk Level Road, Chatham, VA 24531.

Sincerely,

BY: James J. Motley

ITS: President

DATE: 7-18-23



verizon

SHEVA

5376 CHALK LEVEL ROAD CHATHAM, VA 24531

PROJECT DESCRIPTION

INSTALLATION OF NEW 197' MONOPOLE TOWER AND FENCED COMPOUND WITHIN A RAWLAND LEASE AREA

SCAN FOR DIRECTIONS TO SITE:



FOR COUNTY USE

PROJECT TEAM

APPLICANT INFORMATION: ARCOLA TOWERS 112 W WASHINGTON ST, SUITE 201 MIDDLEBURG, VA 20117			
APPLICANT:	CHRISTIAN WINKLER	PHONE NUMBER:	(804) 499-0187
REAL ESTATE:	SEAN BAMMAN	PHONE NUMBER:	(804) 928-0154
ZONING:	SEAN BAMMAN	PHONE NUMBER:	(804) 928-0154
CONSTRUCTION:	TBD	PHONE NUMBER:	TBD
UTILITIES:	TBD	PHONE NUMBER:	TBD
RF ENGINEER:	STUART PATTERSON	PHONE NUMBER:	(703) 328-8574

SUBMITTALS

SUB. NO.	DESCRIPTION	BY	DATE
1	ZONING DRAWING SUBMITTAL REVIEW SET	SPP	06/28/23
2	ZONING DRAWING SUBMITTAL	SPP	06/07/23
3	REVISED ZONING DRAWING SUBMITTAL	SPP	07/31/23
4	REVISED ZONING DRAWING SUBMITTAL	SPP	08/22/23
5	REVISED ZONING DRAWING SUBMITTAL	SPP	08/24/23

CONSULTING TEAM

ENGINEERING:
BAMMAN CONSULTING, LLC
14489 ST ANDREWS LN
ASHLAND, VA 23005
CONTACT: STUART PATTERSON, PE
TELEPHONE: (703) 328-8574

SURVEY:
SOUTHEAST SURVEY
2292 LYNCH MILL ROAD
ALTAVISTA, VA 24517
CONTACT: ELIZABETH ROSSER, LS
TELEPHONE: (434) 309-1101

PROJECT SUMMARY

PROPERTY OWNER:
MOTLEY DAIRY, INC.
3309 CHALK LEVEL ROAD
CHATHAM, VA 24531
PH. (434) 432-8753

TOWER FACILITY OWNER:
ARCOLA TOWERS
112 W WASHINGTON ST, SUITE 201
MIDDLEBURG, VA 20117
PH. (571) 895-3990

UTILITIES INFORMATION:
POWER: MECKLENBURG ELEC. CO-OP
(800) 989-4161
TELEPHONE: RIVERSTREET NETWORKS
(434) 792-2253

PROJECT DATA:
ZONING: A-1
PARCEL ID#: 2447-07-5882
ACREAGE: 120.31
JURISDICTION: PITTSYLVANIA COUNTY
ELECTION DISTRICT: BANISTER
SITE TYPE: RAW LAND
STRUCTURE TYPE: MONOPOLE

STRUCTURE HEIGHT: 197'
OVERALL HEIGHT: 199' (TOP OF LIGHTNING ROD)
LEASE AREA: 100' x 100'
AREA OF LAND DISTURBANCE: 4000' SQ. (0.092 AC.
0.076% OF PARCEL AREA)

FAA 1A GEOGRAPHIC COORDINATES:
LATITUDE: 36° 52' 18.18" N (NAD 83) N36.871717875°
LONGITUDE: 79° 19' 43.39" W (NAD 83) W79.328720818°
ELEVATION: 701' AMSL

ADA COMPLIANCE:
FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. SITE WILL NOT BE SERVED BY CITY SEWER OR WATER.

DRAWING INDEX

SHEET NUMBER	SHEET TITLE
GENERAL	
G-1	COVER SHEET
SITE PLAN	
Z-1	PARCEL PLAN
SP-1	SITE PLAN
SP-2	ENLARGED SITE PLAN
SP-3	ELEVATION
CIVIL	
C-1	CONSTRUCTION DETAILS
C-2	CONSTRUCTION DETAILS
C-3	SIGNAGE PLAN
LANDSCAPE	
L-1	LANDSCAPE PLAN
L-2	LANDSCAPE DETAILS

SHEET TOTAL:
10



SITE INFO:
SHEVA

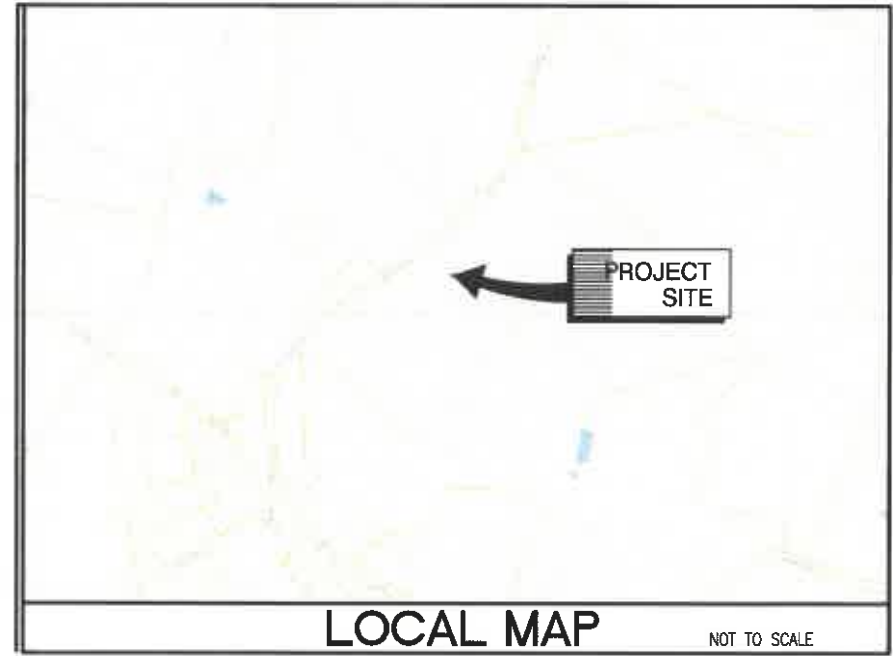
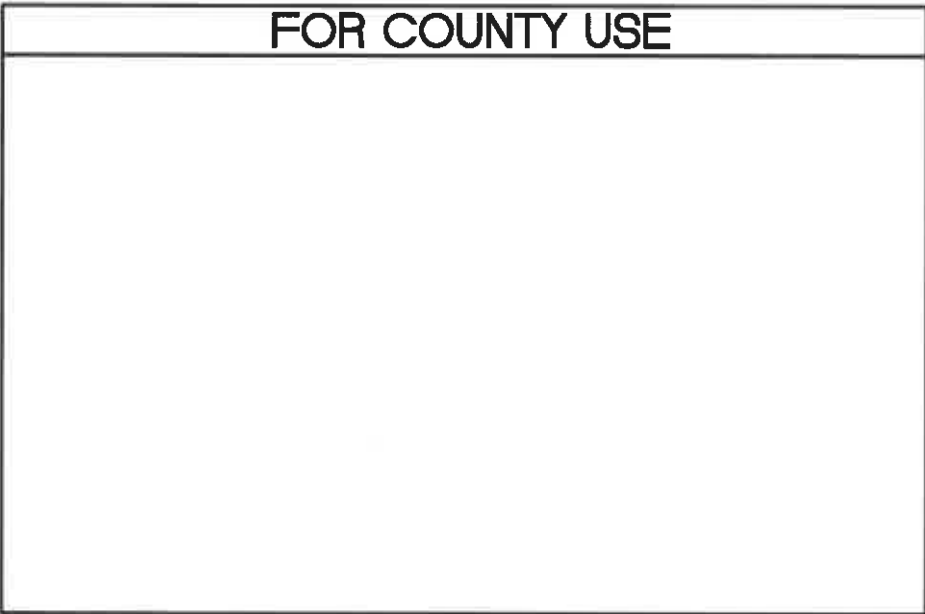
5376 CHALK LEVEL ROAD
CHATHAM, VA
24531

DESIGN: SPP
DRAWN: MAA
REVIEW: SPP
TTV DATE: 03/09/23
COMM. NO.

SUBMITTALS		
SYM.	DESCRIPTION	DATE
1	ZONING DRAWING SUBMITTAL REVIEW SET	06/28/23
2	ZONING DRAWING SUBMITTAL	07/07/23
3	REVISED ZONING DRAWING SUBMITTAL	07/31/23
4	REVISED ZONING DRAWING SUBMITTAL	08/22/23
5	REVISED ZONING DRAWING SUBMITTAL	08/24/23

SHEET NAME:
COVER SHEET

SHEET NO.:
G-1



LEASE NOTES

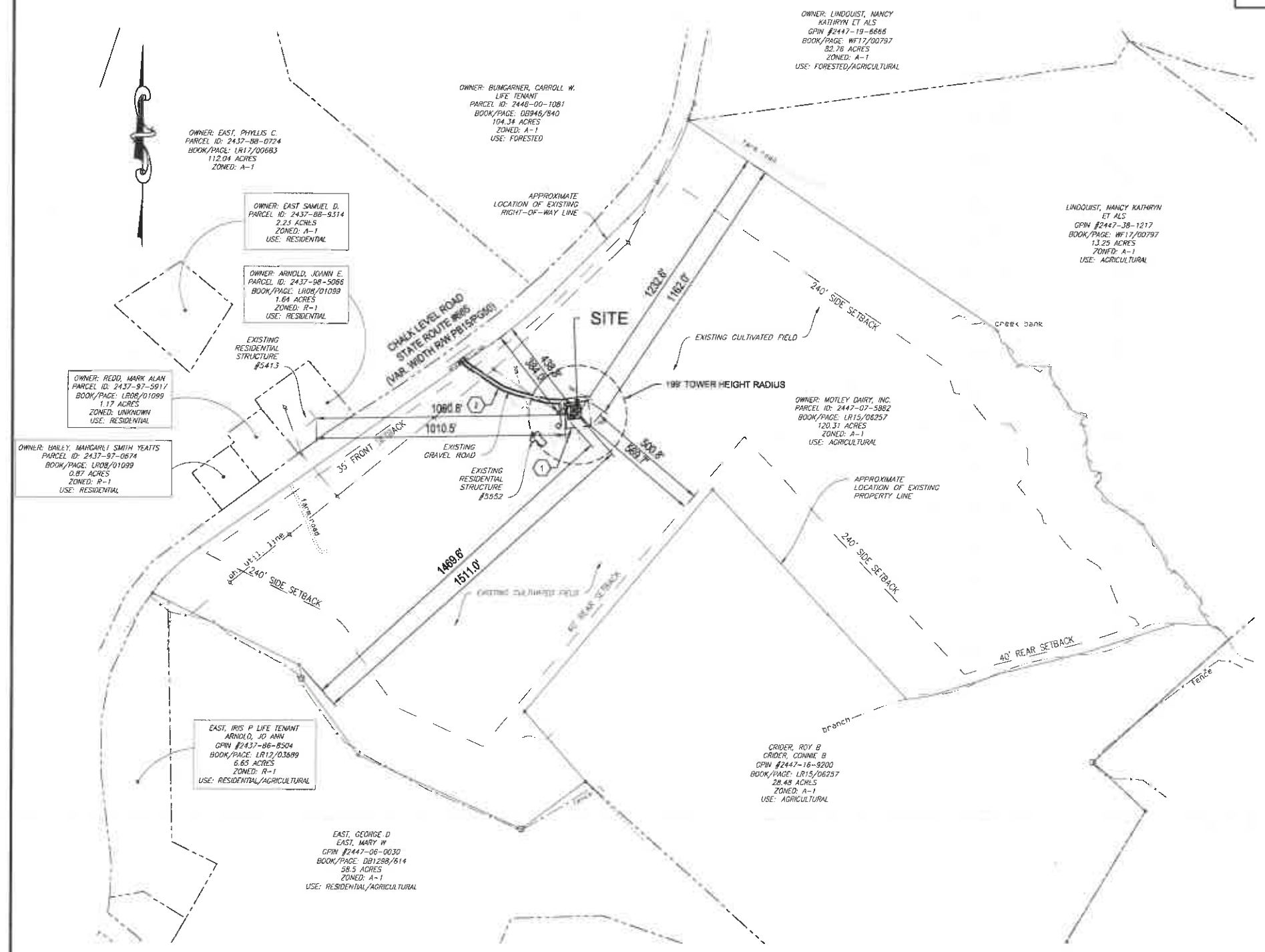
- 100' x 100' LEASE AREA.
- 20' WIDE INGRESS/EGRESS AND UTILITY/FIBER EASEMENT.

SETBACK INFORMATION

JURISDICTION: PITTSYLVANIA COUNTY			
ZONING: A-1			
DIMENSION	REQUIRED	PROPOSED TOWER	PROPOSED COMPOUND
FRONT:	35'	438.8'	384.0'
SIDE:	270'	1232.6', 1511.0'	1162.0', 1489.6'
REAR:	40'	569.1'	500.8'
EXISTING DWELLING:	300'	1060.8' (5413 CHALK LEVEL ROAD)	1010.5'

PROPOSED DISTURBED AREA:
4000 SF, 0.092 ACRES, 0.076% OF PARCEL AREA

CLOSEST TOWER(S)
AMERICAN TOWER - 290' SELF-SUPPORT - 3.5 MILES SW
CROWN CASTLE - 195' MONOPOLE - 3.78 MILES NW



PARCEL PLAN



b
14489 ST ANDREWS LN
ASHLAND, VA 23005

arcola
TOWERS
112 W WASHINGTON ST, #201
MIDDLEBURG, VA 20117

verizon

COMMONWEALTH OF VIRGINIA
Stuart P. Patterson
STUART P. PATTERSON
Lic. No. 041047
August 24, 2023
PROFESSIONAL ENGINEER

SITE INFO:
SHEVA

5376 CHALK LEVEL ROAD
CHATHAM, VA
24531

DESIGN:	SPP
DRAWN:	MAA
REVIEW:	SPP
TTV DATE:	03/09/23
COMM. NO.	

SUBMITTALS

SYM.	DESCRIPTION	DATE
1	ZONING DRAWING SUBMITTAL REVIEW SET	05/29/23
2	ZONING DRAWING SUBMITTAL	07/07/23
3	REVISED ZONING DRAWING SUBMITTAL	07/31/23
4	REVISED ZONING DRAWING SUBMITTAL	08/22/23
5	REVISED ZONING DRAWING SUBMITTAL	08/24/23

SHEET NAME:
PARCEL PLAN

SHEET NO.:
Z-1

LEASE NOTES

- 100' x 100' LEASE AREA.
- 20' WIDE INGRESS/EGRESS AND UTILITY/FIBER EASEMENT.

CONSTRUCTION NOTES

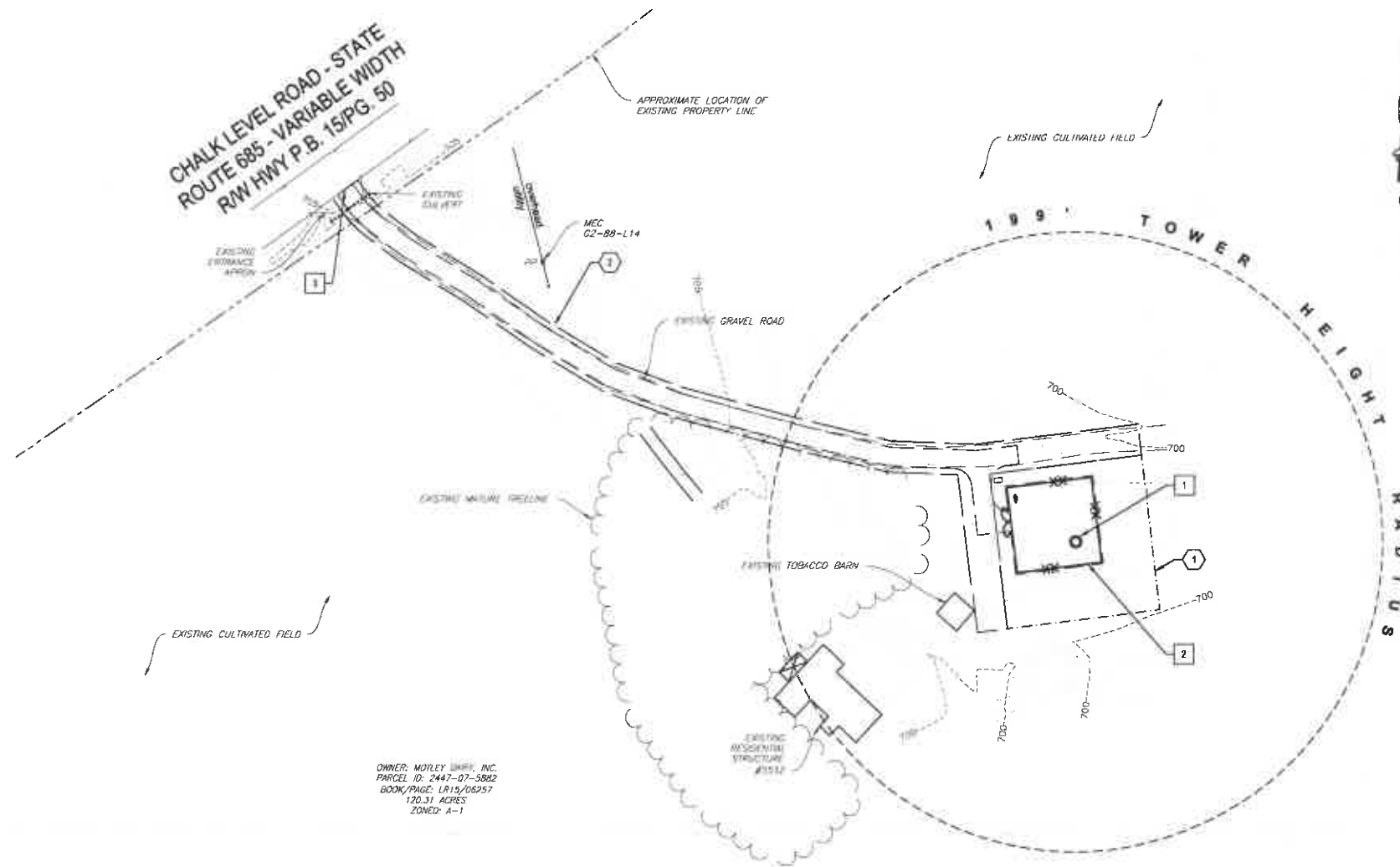
- MONOPOLE TOWER, SEE SHEET SP-3.
- FENCED COMPOUND, SEE SHEET SP-2.
- ENTRANCE AND ROAD REPAIR/IMPROVEMENTS PER SOW.

SURVEYOR'S NOTES

- TOPOGRAPHIC SURVEY PERFORMED BY SOUTHEAST SURVEY GROUP, LTD. THE FIELDWORK WAS COMPLETED MARCH 22, 2023.
- THE DATUM IS NAD83(NA2011) EPOCH 2010.00 AS DEFINED BY THE NGS NSRS BASED ON GPS LOCATION UTILIZING LEICA'S SMARTNET RTK NETWORK.
- THE CONTOUR INTERVAL IS 1 FOOT.
- SAID SURVEY WAS DONE WITHOUT THE BENEFIT OF A TITLE REPORT. THEREFORE ALL EASEMENTS, ENCROACHMENTS, AND IMPROVEMENTS MAY NOT BE SHOWN.
- THIS TOPOGRAPHIC SURVEY DOES NOT REPRESENT A BOUNDARY SURVEY. THE RIGHT-OF-WAY, PROPERTY LINE, AND/OR EASEMENTS SHOWN HEREON ARE A COMPILATION OF RECORDED DEEDS, LEASES, PLATS, GIS RECORDS, AND TAX MAPS.
- THE EXISTENCE OF HAZARDOUS WASTE, VEGETATED WETLANDS, OR TIDAL WETLANDS WAS NEITHER INVESTIGATED, NOR CONFIRMED DURING THE PERFORMANCE OF THIS SURVEY. NO SUBSURFACE INVESTIGATION WAS PERFORMED. THIS SURVEY DOES NOT GUARANTEE THE EXISTENCE OR NON EXISTENCE OF UNDERGROUND UTILITIES.

GENERAL NOTES

- THIS PLAN IS SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD.
- THE FACILITY IS UNMANNED AND NOT INTENDED FOR HUMAN HABITATION (NO HANDICAP ACCESS REQUIRED).
- THE FACILITY IS UNMANNED AND DOES NOT REQUIRE POTABLE WATER OR SANITARY SERVICE.



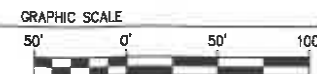
OWNER: MOTLEY LUMBER, INC.
 PARCEL ID: 2447-07-5882
 BOOK/PAGE: LF15/06257
 120.31 ACRES
 ZONED: A-1

ABBREVIATIONS

#	NUMBER	N/F	NOW OR FORMERLY
A	AMPS	NO	NUMBER
AGL	ABOVE GROUND LEVEL	OSHA	OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION
ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE		
AWG	AMERICAN WIRE GAUGE	P/P	POWER POLE
CL	CENTERLINE	RF	RADIO FREQUENCY
COAX	COAXIAL CABLE	SYM	SYMBOL
COMM	COMMUNICATION	TIA	TELECOMMUNICATIONS INDUSTRY ASSOCIATION
CONC	CONCRETE		
E	EXISTING, EAST	TTV	TECHNICAL TEAM VISIT
EIA	ELECTRONICS INDUSTRIES ALLIANCE	TYP	TYPICAL
GPIN	GRID PARCEL IDENTIFICATION NUMBER	VA	VIRGINIA
MIN	MINIMUM	W/	WITH
INST	INSTRUMENT	WM	WATER METER
NAD	NORTH AMERICAN DATUM	WV	WATER VALVE

LEGEND

---	PROPERTY LINE	▨	CONCRETE
---	LEASE AREA		
---	EASEMENT		
---	EDGE OF PAVEMENT		
---90---	CONTOUR		
+90.22	SPOT ELEVATION		
---	GRAVEL		
---XX---	FENCE		
---	DITCH		



SITE PLAN
 NOT TO SCALE



14488 ST ANDREWS LN
 ASHLAND, VA 23005



112 W WASHINGTON ST, #201
 MIDDLEBURG, VA 20117



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5	REVISED ZONING DRAWING SUBMITTAL	08/24/23

SHEET NAME:
SITE PLAN

SHEET NO.:
SP-1

STRUCTURAL PRACTICES

SF	SEDIMENT BARRIER	SILT FENCE VA E&S HANDBOOK STD & SPEC 3.05
----	------------------	---

VEGETATIVE PRACTICES

MR	DISTURBED AREA STABILIZATION	SILT FENCE VA E&S HANDBOOK STD & SPEC 3.35
TS	DISTURBED AREA STABILIZATION	SEEDING FOR TEMPORARY VEGETATIVE COVER WITH FAST GROWING SEEDINGS ON DISTURBED AREAS THAT WILL NOT BE BROUGHT TO FINAL GRADE WITHIN 30 DAYS VA E&S HANDBOOK STD & SPEC 3.31
PS	DISTURBED AREA STABILIZATION	PERMANENT VEGETATIVE COVER AFTER FINE GRADING VA E&S HANDBOOK STD & SPEC 3.32
BM	SOIL STABILIZATION BLANKETS & MATTING	PROTECTIVE COVERING (BLANKET) OR A SOIL STABILIZATION MAT ON A PREPARED PLANTING AREA OF A STEEP SLOPE, CHANNEL OR SHORELINE VA E&S HANDBOOK STD & SPEC 3.36

GENERAL NOTES

- IT IS THE CONTRACTORS RESPONSIBILITY TO LOCATE EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. PROPOSED UTILITIES INSIDE THE COMPOUND SHALL BE HAND DUG. UTILITY TRENCHES SHALL BE BACKFILLED AND COMPACTED IN 6" LIFTS WITH DETECTABLE WARNING TAPE WITHIN BACKFILLED NATIVE MATERIAL. GEOTEXTILE FABRIC AND STONE SHALL BE RESTORED TO TO EXISTING CONDITIONS.
- ALL EROSION AND SEDIMENT CONTROL DEVICES SHALL BE INSTALLED BY THE CONTRACTOR IN ACCORDANCE WITH THE LATEST EDITION OF THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK (VESCH) BEFORE LAND DISTURBANCE COMMENCEMENT AND CHECKED PERIODICALLY TO ENSURE THEY ARE FUNCTIONING AS INDICATED.
- THE STOCKPILING OF EXCESS MATERIAL ON SITE WILL NOT BE ALLOWED. CONTRACTOR SHALL COORDINATE TO RELOCATION OF EXCESS SOIL WITH THE LANDLORD.
- ANY VEGETATED AREA DISTURBED BY CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO SEED AND ESTABLISH A PERMANENT VEGETATIVE COVER.
- THE CONTRACTOR IS RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION. SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH OSHA REQUIREMENTS.
- THE CONTRACTOR IS RESPONSIBLE FOR SITE LAYOUT AND CONSTRUCTION STAKING. LOCATION OF EXISTING STRUCTURES AND UTILITIES MUST BE CONFIRMED BY THE CONTRACTOR.
- ALL WORK SHALL BE ACCOMPLISHED IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL CODES OR ORDINANCES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTIONS THAT MAY BE REQUIRED BY ANY FEDERAL, STATE, COUNTY OR MUNICIPAL AUTHORITIES.

E&S NOTES

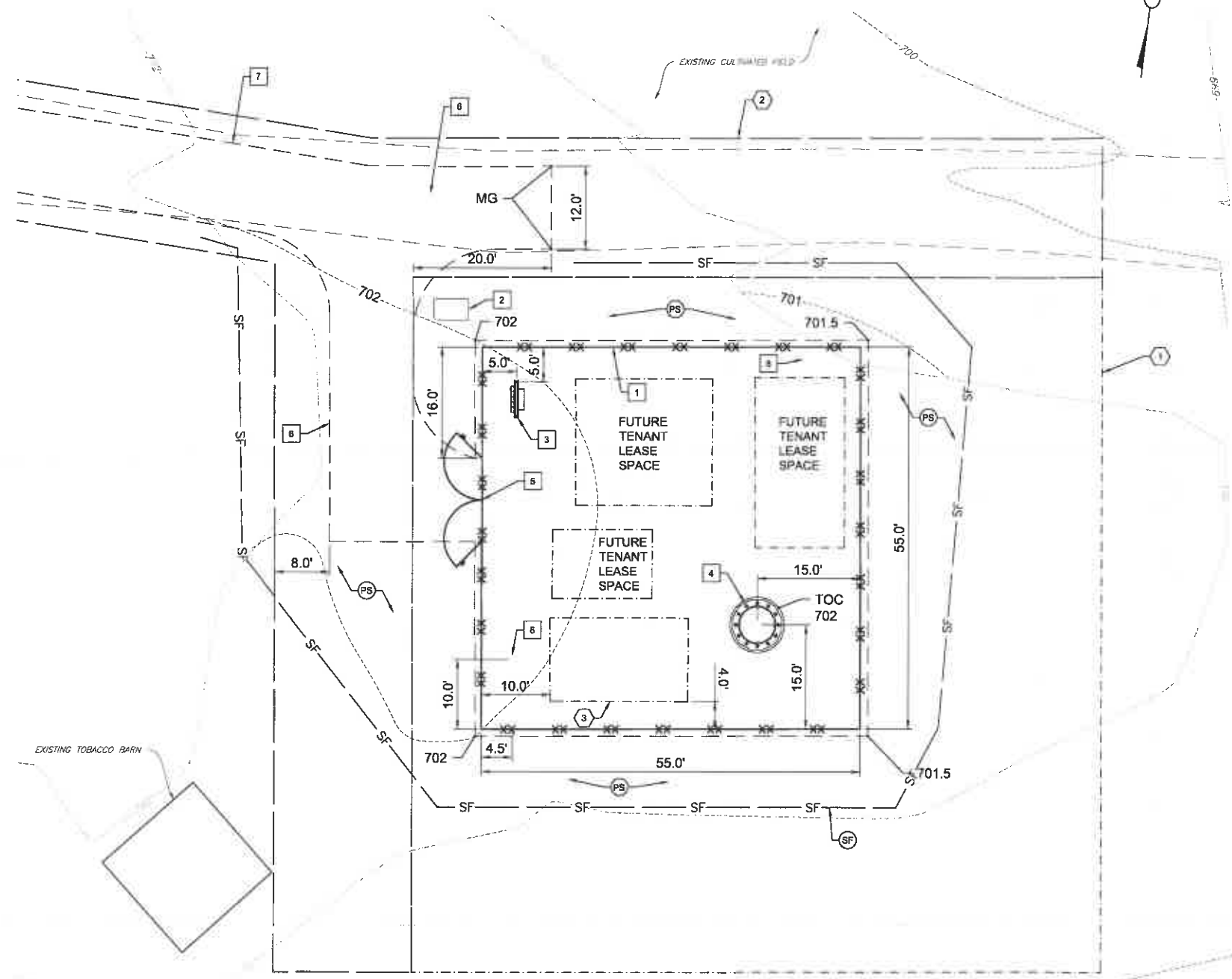
- EROSION AND SEDIMENT CONTROL SHALL COMPLY WITH PITTSYLVANIA COUNTY REQUIREMENTS.
- REFER TO VIRGINIA EROSION AND SEDIMENT CONTROL MANUAL (3RD EDITION) FOR STRUCTURAL AND VEGETATIVE PRACTICE REQUIREMENTS.
- NO PROPOSED SOIL STOCKPILE AREAS.
- TOTAL LIMITS OF DISTURBANCE = 4000 SF (0.092 AC.)
- CONTRACTOR SHALL LAY FILTER CLOTH AND STONE OVER AREA DISTURBED EACH DAY. CONTRACTOR SHALL ALSO SEED AND MULCH STRIPPED AND SPREAD TOPSOIL PRIOR TO LEAVING EACH EVENING.
- ANY AND ALL MATERIAL OR DEBRIS TRACKED ONTO A PUBLIC OR PRIVATE ROAD SURFACE WILL BE REMOVED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM ROADS BY SHOVELING OR SWEEPING AND BE TRANSPORTED TO A SEDIMENT CONTROLLED DISPOSAL AREA.
- ALL EXCAVATED MATERIAL SHALL BE DISPOSED OF IN A LAWFUL MANNER.
- NO CITY REFUSE COLLECTION WILL BE PROVIDED TO THIS SITE.

LEASE NOTES

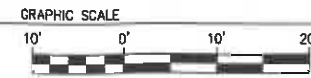
- 100' x 100' LEASE AREA.
- 20' WIDE INGRESS/EGRESS AND UTILITY/FIBER EASEMENT.
- VERIZON 12' x 20' LEASE AREA.

CONSTRUCTION NOTES

- 7' HIGH CHAIN LINK FENCE WITH 3-STRAND BARBED WIRE.
- FIBER HANDHOLE.
- 6' H-FRAME.
- NEW MONOPOLE TOWER. SEE SHEET SP-3.
- 12' WIDE DOUBLE ACCESS GATE.
- GRAVEL TURN-AROUND AND PARKING AREA.
- CONTRACTOR SHALL REPAIR EXISTING GRAVEL ROAD AND ADD BASE AND/OR SURFACE AGGREGATE AS NEEDED TO BRING ROAD IN COMPLIANCE WITH DETAIL ON SHEET SP-3.
- POWER AND FIBER CONDUIT STUB UPS FROM H-FRAME.



COMPOUND PLAN



b
14489 ST ANDREWS LN
ASHLAND, VA 23005

arcola
TOWERS
112 W WASHINGTON ST, #201
MIDDLEBURG, VA 20117

verizon

COMMONWEALTH OF VIRGINIA
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SHEET NAME:
ENLARGED SITE PLAN

SHEET NO.:
SP-2

C:\My Drive\working\Shree\DWG\WORKING\Sheets\SP-2.dwg Thu, 24 Aug 2023 10:18am mrcr

C:\My Drive\working\Sheets\DWG\Sheets\SP-3.dwg Thu, 24 Aug 2023 10:18am more

GENERAL NOTES

1. TRANSMITTER EQUIPMENT AND ANTENNAS ARE DESIGNED TO MEET ANSI/EIA/TIA 222-H REQUIREMENTS.
2. ALL STRUCTURAL ELEMENTS SHALL BE HOT DIPPED GALVANIZED STEEL.
3. MONOPOLE AND FOUNDATION DESIGNED BY OTHERS.
4. TOWER SHALL HAVE A GALVANIZED STEEL FINISH.
5. ILLUMINATION OF TOWER IS NOT REQUIRED OR PROPOSED.

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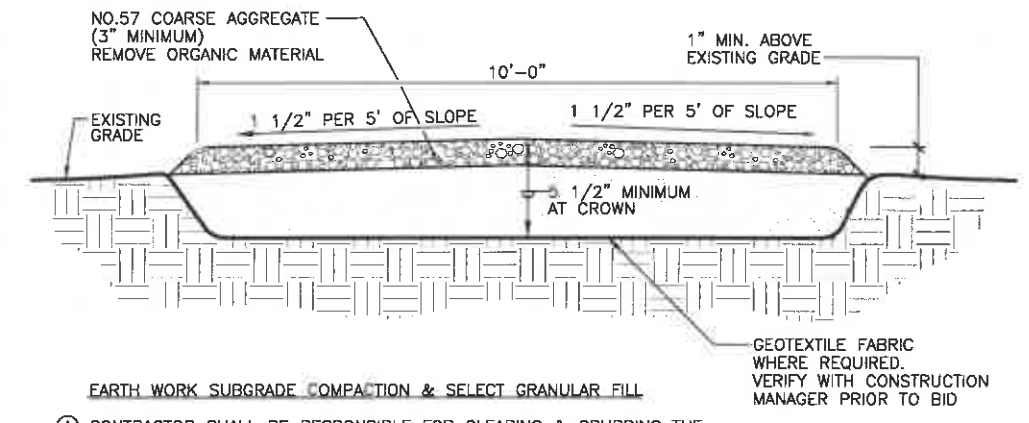
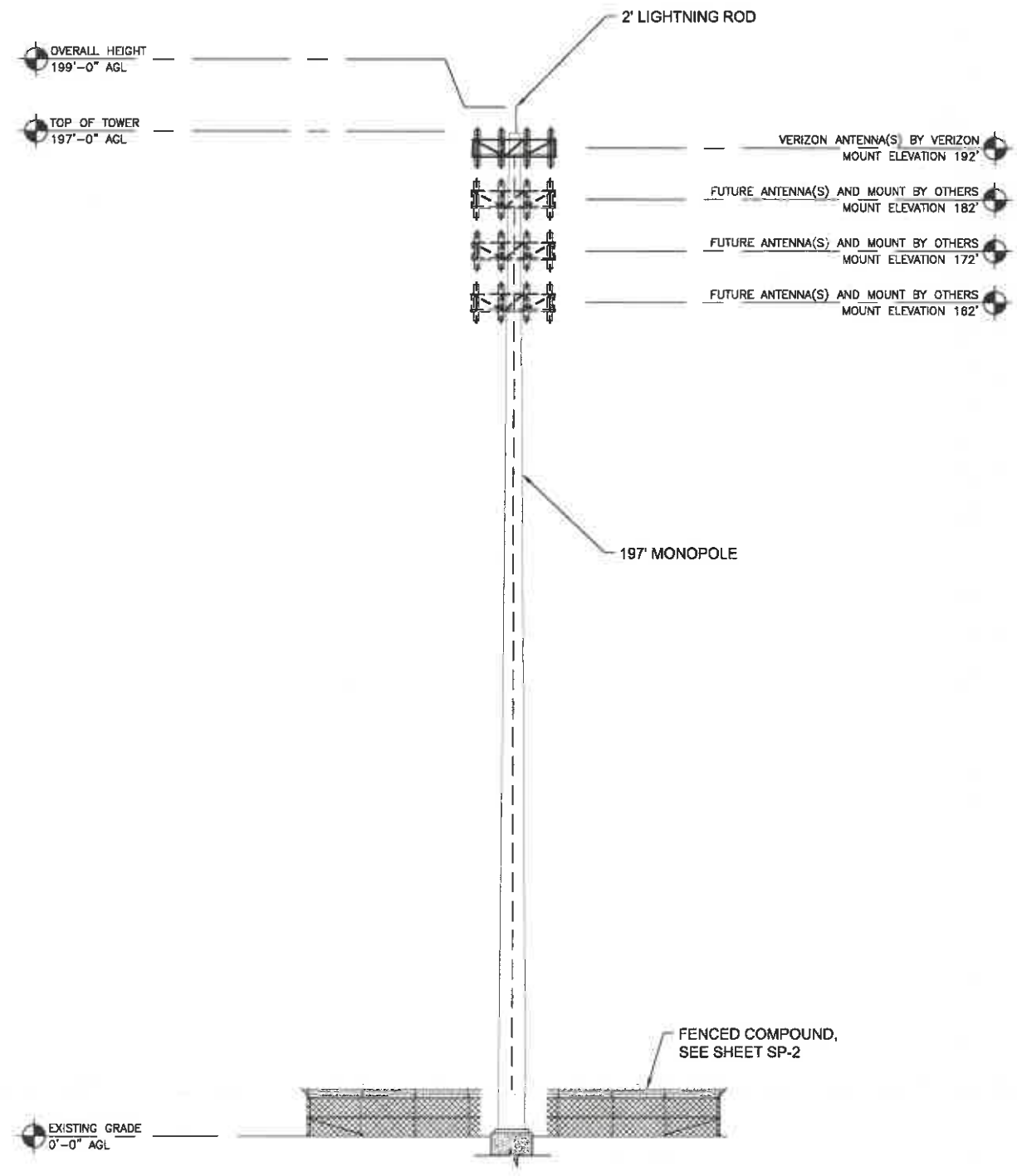
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SHEET NAME:
ELEVATION

SHEET NO.:
SP-3



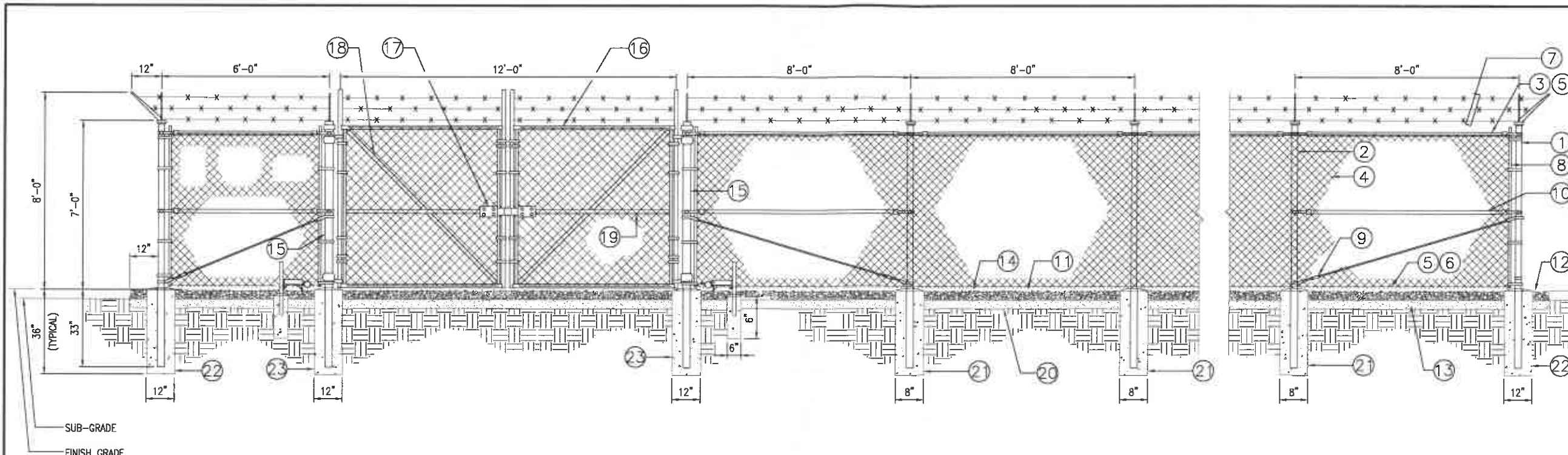
FARTH WORK SUBGRADE COMPACTION & SELECT GRANULAR FILL

(A) CONTRACTOR SHALL BE RESPONSIBLE FOR CLEARING & GRUBBING THE CONSTRUCTION SITE AND ROADWAY AREAS. THE CONTRACTOR SHALL COMPLY WITH THE RECOMMENDATIONS CONTAINED WITHIN THE GEOTECHNICAL REPORT WHEN NECESSARY PREPARED FOR THIS SITE FOR SITE WORK PREPARATION & FOUNDATION WORK. AS A MINIMUM THE TOP 3" OF GRADE SHALL BE REMOVED. THE EXPOSED SUBGRADE COMPACTED, GEOTEXTILE FABRIC AS REQUIRED FOR UNSTABLE SOIL CONDITION.

(B) ALL SELECT GRANULAR FILL SHALL BE COMPACTED TO A 95% COMPACTION AT A MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D-1557 OR WITHIN PLUS OR MINUS 3% OF OPTIMUM MOISTURE CONTENT.

3 TYPICAL ACCESS ROAD CROSS SECTION
SP-3 NOT TO SCALE

ELEVATION
NO SCALE



1 COMPOUND FENCE DETAIL
C-1 NOT TO SCALE

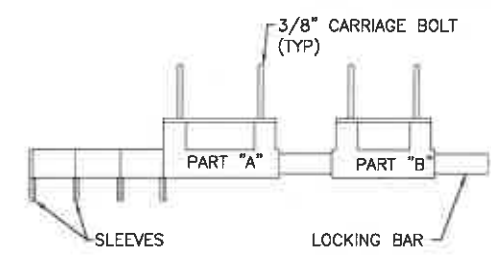
REFERENCE NOTES:

- ① CORNER END OR PULL POST 3" NOMINAL SCHEDULE 40 PIPE.
- ② LINE POST: 2 1/2" SCHEDULE 40 PIPE, PER ASTM-F1083. LINE POSTS SHALL BE EQUALLY SPACED AT MAXIMUM 8'-0" OC
- ③ TOP RAIL & BRACE RAIL: 1 1/2" PIPE, PER ASTM-F1083.
- ④ FABRIC: 9 GA CORE WIRE SIZE 2" MESH, CONFORMING TO ASTM-A392.
- ⑤ TIE WIRE: MINIMUM 11 GA GALVANIZED STEEL AT POSTS AND RAILS A SINGLE WRAP OF FABRIC TIE AND AT TENSION WIRE BY HOG RINGS SPACED MAX. 24" INTERVALS.
- ⑥ TENSION WIRE: 9 GA GALVANIZED STEEL.
- ⑦ BARBED WIRE: DOUBLE STRAND 12-1/2" OD TWISTED WIRE TO MATCH WITH FABRIC 14 GA, 4 POINT BARBS SPACED ON APPROXIMATELY 5" CENTERS.
- ⑧ STRETCHER BAR.
- ⑨ 3/8" DIAGONAL ROD WITH GALVANIZED STEEL TURNBUCKLE OR DIAGONAL THREADED ROD.
- ⑩ FENCE CORNER POST BRACE: 1 5/8" DIA EACH CORNER EACH WAY.
- ⑪ 1 1/2" MAXIMUM CLEARANCE FROM GRADE.
- ⑫ 4" FINISH OR AS DETERMINED BY CONSTRUCTION MANAGER DURING BID WALK.
- ⑬ 6" COMPACTED 95% BASE MATERIAL OR AS DETERMINED BY CONSTRUCTION MANAGER DURING BID WALK.
- ⑭ FINISH GRADE SHALL BE UNIFORM AND LEVEL.
- ⑮ GATE POST 4" SCHEDULE 40 PIPE, FOR GATE WIDTHS UP THRU 7 FEET OR 14 FEET FOR DOUBLE SWING GATE, PER ASTM-F1083.
- ⑯ GATE FRAME: 1 1/2" PIPE, PER ASTM-F1083.
- ⑰ GATE LOCKING DEVICE (OFCI)

- ⑱ 1-1/2 PAIR INDUSTRIAL MALLEABLE IRON OFFSET PIN HINGE (PAGE-WILSON M-6 OR EQUAL)
- ⑲ GATE FRAME BRACE
- ⑳ GEOTEXTILE FABRIC
- ㉑ LINE POST: CONCRETE FOUNDATION (2000 PSI)
- ㉒ CORNER POST: CONCRETE FOUNDATION (2000 PSI)
- ㉓ GATE POST: CONCRETE FOUNDATION (2000 PSI)

GENERAL NOTES:

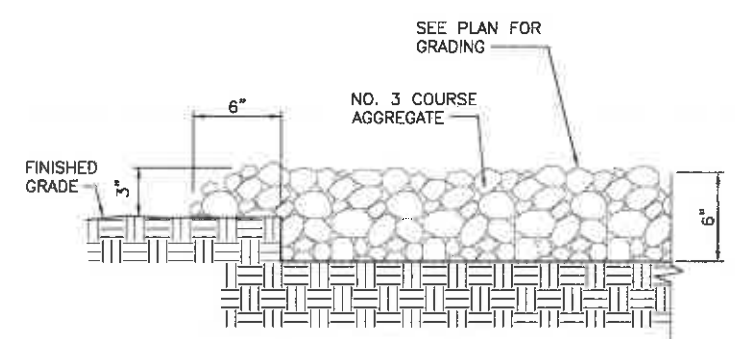
- 1. INSTALL FENCING PER ASTM F-567
- 2. INSTALL SWING GATES PER ASTM F- 900
- 3. LOCAL ORDINANCE OF BARBED WIRE PERMIT REQUIREMENT SHALL BE COMPLIED IF REQUIRED.
- 4. POST & GATE PIPE SIZES ARE INDUSTRY STANDARDS. ALL PIPE TO BE 1 1/2" GALV. (HOT DIP, ASTM A120 GRADE "A" STEEL). ALL GATE FRAMES SHALL BE WELDED. ALL WELDING SHALL BE COATED WITH (3) COATS OF COLD GALV. (OR EQUAL).
- 5. ALL OPEN POSTS SHALL HAVE END-CAPS.
- 6. USE GALVANIZED HOG-RING WIRE TO MOUNT ALL SIGNS.
- 7. ALL SIGNS MUST BE MOUNTED ON INSIDE OF FENCE FABRIC.



- 1. DRILL 3/8" HOLES IN THE GATE LEAF USING THE GATE DIMENSIONS PROVIDED.
 - 2. SLIDE THE CARRIAGE BOLTS IN THE SLOTS ON THE BACK OF PART "B" AND PUSH THE BOLTS THROUGH THE HOLES DRILLED INTO THE GATE LEAF. PUT THE NUT AND THE LOCKNUT ON AND TIGHTEN AND CUT THE EXCESS BOLT OFF. DO THE SAME WITH PART "A".
 - 3. ADD THE NUMBER OF SLEEVES NEEDED FOR THE NUMBER OF LOCKS AND SLIDE THE LOCKING BAR INTO PLACE THROUGH BOTH PART "A" AND PART "B". NOW INSTALL THE LOCKS.
- *IF THE GATE HAS NO CENTER BAR IN THE GATE LEAF YOU MAY NEED TO MOUNT THE STYMILOCK VERTICALLY USING THE SAME DIMENSIONS GIVEN ON THE GATE FACE.
- *VERTICAL APPLICATION MAY ALSO BE USED ON SLIDING GATES WITH MULTIPLE LOCKS.

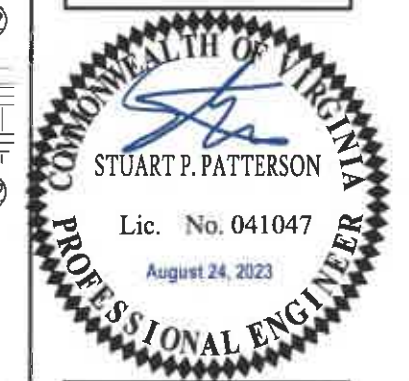
STYMILOCK INSTALLATION

NO SCALE



SECTION - GRAVEL PARKING/TURNAROUND (OUTSIDE OF FENCED COMPOUND)

NO SCALE



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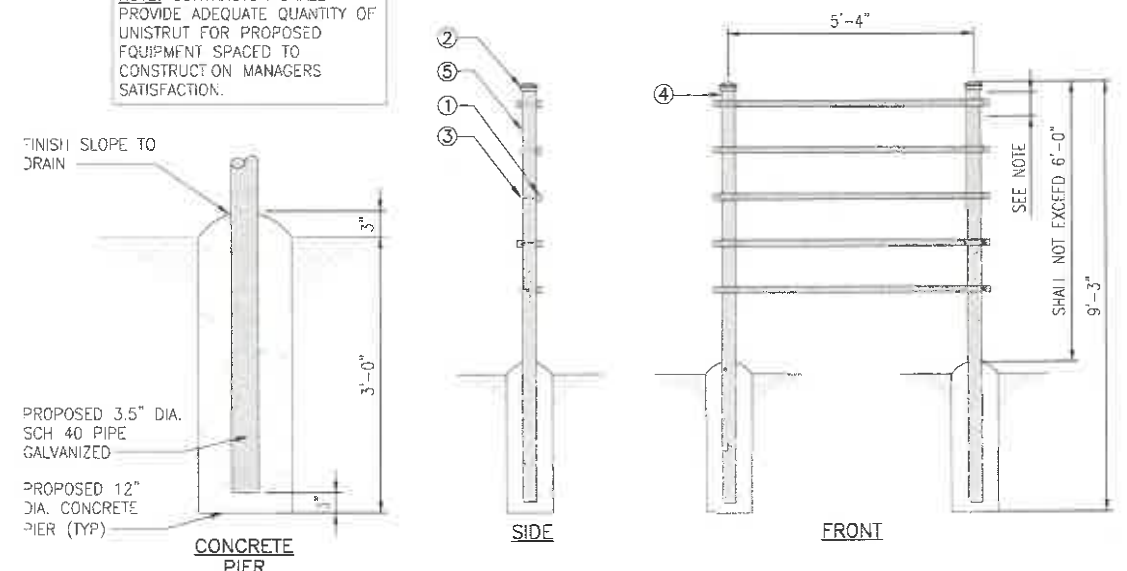
SHEET NAME:
CONSTRUCTION DETAILS

SHEET NO:
C-1

ITEM#	DESCRIPTION
1	P1000T UNISTRUT, 1-5/8"x1-5/8"x6", S.LOTTED
2	PIPE CAP FOR 3.5" OD PIPE, HDG
3	U-BOLT KIT, 3.5" OD (1 U-BOLT)
4	END CAP, 1-5/8" UNISTRUT
5	3.5" OD PIPE, 111" LONG

*ALL ITEMS SHALL BE GALVANIZED OR STAINLESS STEEL

NOTE: CONTRACTOR SHALL PROVIDE ADEQUATE QUANTITY OF UNISTRUT FOR PROPOSED EQUIPMENT SPACED TO CONSTRUCT ON MANAGERS SATISFACTION.

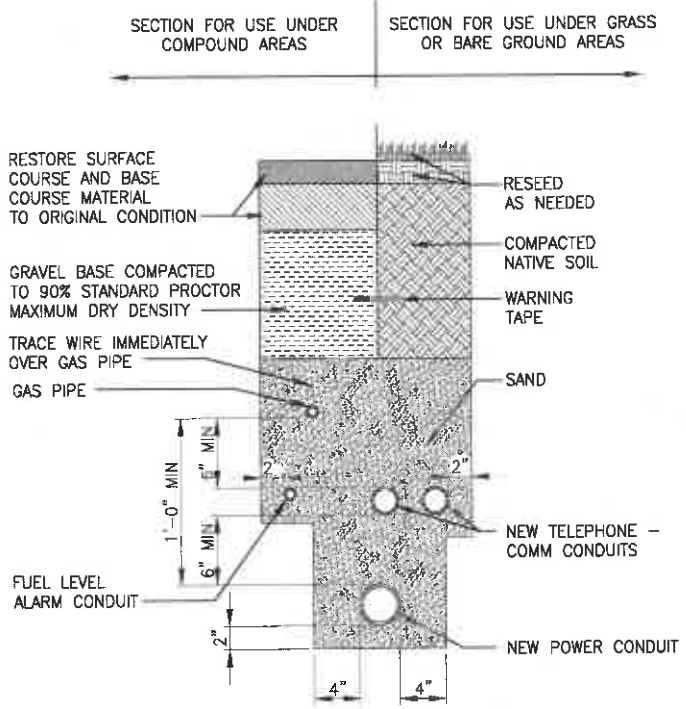


1 6FT H-FRAME INSTALLATION DETAIL
C-2 NO SCALE

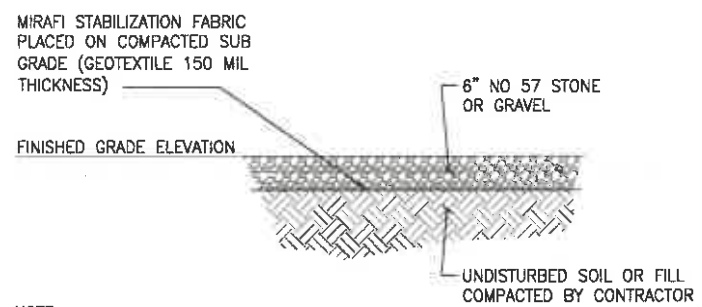
MINIMUM UTILITY DEPTHS:
(ADDITIONAL DEPTH MAY BE REQUIRED TO MEET MINIMUM CLEARANCES FROM OTHER UTILITIES.)

- POWER: 36"
- COMMUNICATIONS AND ALARMS: 18"
- LP GAS PIPING: 12"

- NOTE:
- IF FREE OF ORGANIC OR OTHER DELETERIOUS MATERIAL, EXCAVATED MATERIAL MAY BE USED FOR BACKFILL. IF NOT, PROVIDE CLEAN, COMPACTIBLE MATERIAL. COMPACT IN 8" LIFTS. REMOVE ANY LARGE ROCKS PRIOR TO BACKFILLING, CONTRACTOR TO VERIFY LOCATION OF EXISTING U/G UTILITIES PRIOR TO DIGGING.
 - SAND BACKFILL SHALL BE CLEAN, WASHED AND FREE OF DEBRIS OR ROCKS LARGER THAN 1/8".
 - CONTRACTOR SHALL HAND DIG U/G TRENCHING.
 - DETECTING WIRE SHALL BE BURIED DIRECTLY ABOVE NON-METALLIC PIPING AS INDICATED IN THE CONSTRUCTION DOCUMENTS AND AS DIRECTED BY THE CONSTRUCTION MANAGER.

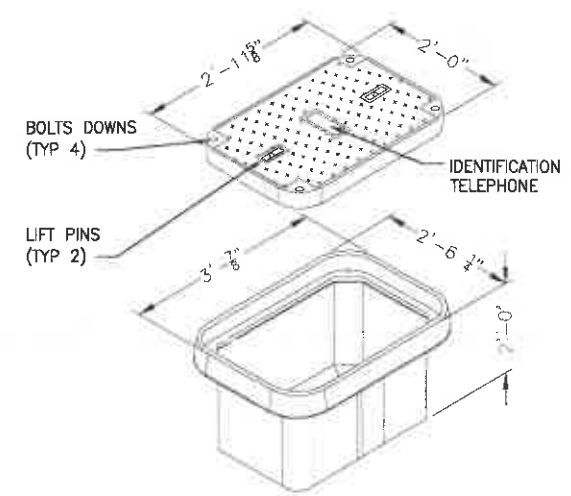


2 UTILITY TRENCH DETAIL
C-2 NOT TO SCALE



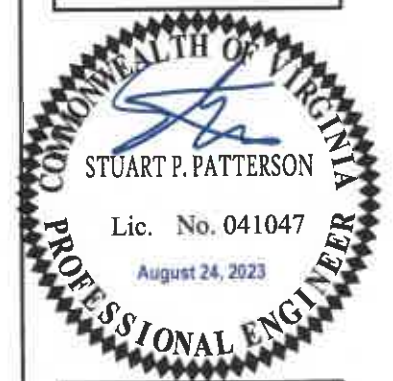
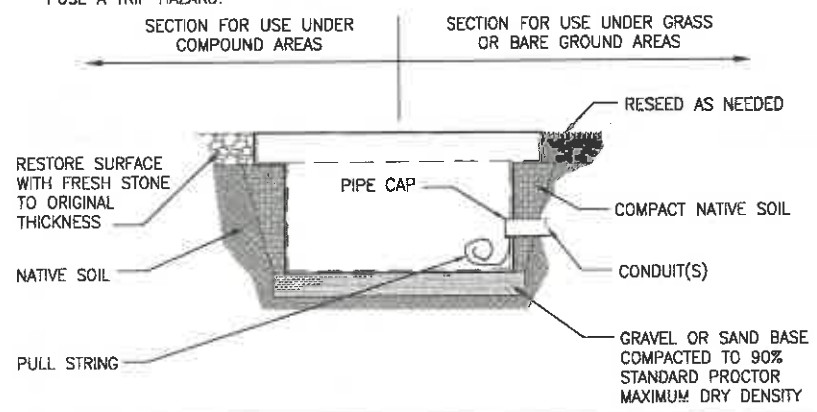
- NOTE:
- FILL SHALL CONSIST OF CLEAN SOIL. NO DELETERIOUS MATERIALS OR ORGANICS TO BE USED.

3 GRAVEL COMPOUND DETAIL
C-2 NOT TO SCALE



4 HANDHOLE SECTION
C-2 NOT TO SCALE

- NOTES:
- ALL STUB-UP CONDUITS INSIDE PULL BOXES WILL BE 6" FROM TOP OF BOX AND HAVE PULL STRING AND CAPS.
 - EXCAVATION FOR HAND HOLE SHALL BE DONE BY HAND WITHIN FENCE COMPOUND.
 - INSTALLATION SHOULD BE LEVEL AND EVEN WITH SURROUNDING SURFACE AND NOT POSE A TRIP HAZARD.



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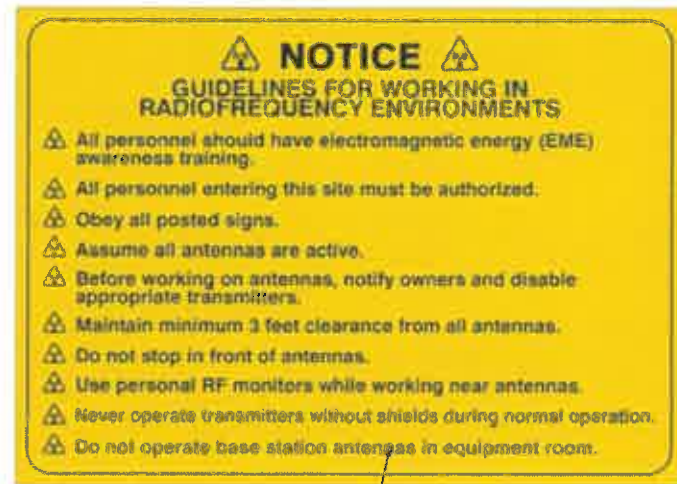
SHEET NAME:
CONSTRUCTION DETAILS

SHEET NO:
C-2

SIGN TYPES			
TYPE	COLOR	COLOR CODE PURPOSE	SIGN MOUNTING LOCATIONS
RF NOTICE	BLUE	"NOTICE BEYOND THIS POINT" RF FIELDS BEYOND THIS POINT MAY EXCEED THE FCC GENERAL PUBLIC EXPOSURE LIMIT. OBEY ALL POSTED SIGNS AND SITE GUIDELINES FOR WORKING IN RF ENVIRONMENTS. IN ACCORDANCE WITH FEDERAL COMMUNICATIONS COMMISSION RULES ON RADIO FREQUENCY EMISSIONS 47 CFR-1.1307(b)	FENCE COMPOUND GATE
RF CAUTION	YELLOW	"CAUTION BEYOND THIS POINT" RF FIELDS BEYOND THIS POINT MAY EXCEED THE FCC GENERAL PUBLIC EXPOSURE LIMIT. OBEY ALL POSTED SIGNS AND SITE GUIDELINES FOR WORKING IN RF ENVIRONMENTS. IN ACCORDANCE WITH FEDERAL COMMUNICATIONS COMMISSION RULES ON RADIO FREQUENCY EMISSIONS 47 CFR-1.1307(b)	BASE OF TOWER
WARNING	ORANGE/RED	"WARNING BEYOND THIS POINT" RF FIELDS AT THIS SITE EXCEED FCC RULES FOR HUMAN EXPOSURE. FAILURE TO OBEY ALL POSTED SIGNS AND SITE GUIDELINES FOR WORKING IN RF ENVIRONMENTS COULD RESULT IN SERIOUS INJURY. IN ACCORDANCE WITH FEDERAL COMMUNICATIONS COMMISSION RULES ON RADIO FREQUENCY EMISSIONS 47 CFR-1.1307(b)	N/A
FACILITY CONTACT SIGN	BLUE/GREEN/WHITE	"INFORMATIONAL SIGN" TO NOTIFY OTHERS OF THE OWNERSHIP AND CONTACT NUMBER.	FENCE COMPOUND GATE
NO TRESPASSING	BLACK/WHITE	"NO TRESPASSING" NOTIFICATION THAT THE TOWER FACILITY IS NOT TO BE ACCESSED BY THE PUBLIC.	FENCE COMPOUND GATE
RF NOTICE 2	ORANGE/BLACK	"NOTICE" PROVIDE GUIDELINES FOR ALL GUESTS WORKING WITHIN THE TOWER FACILITY AND ON THE TOWER	FENCE COMPOUND GATE

NOTES:

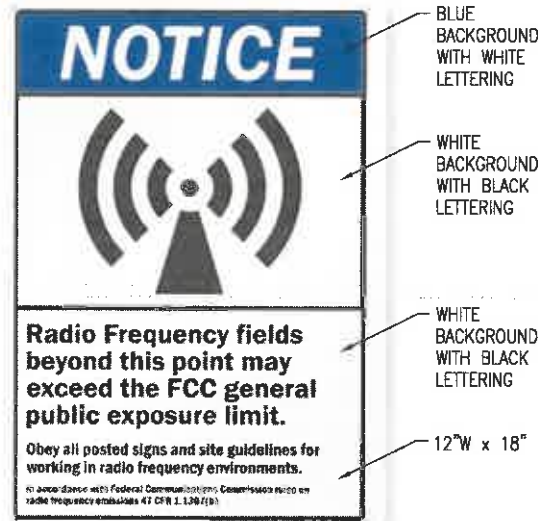
- FOR ARCOLA TOWERS LOGO, SEE ARCOLA TOWERS DESIGN SPECIFICATIONS (PROVIDED BY ARCOLA TOWERS).
- SITE ID SHALL BE APPLIED TO SIGNS USING "LASER ENGRAVING" OR ANY OTHER WEATHER RESISTANT METHOD (ARCOLA TOWERS APPROVAL REQUIRED).
- TEXT FOR SIGNAGE SHALL INDICATE CORRECT SITE NAME AND NUMBER AS PER ARCOLA TOWERS CONSTRUCTION MANAGER RECOMMENDATIONS.
- ALL SIGNS WILL BE SECURED WITH ZINC PLATED OR STAINLESS STEEL TECH SCREWS.



ORANGE BACKGROUND WITH BLACK LETTERING
12"W x 18"H

RF NOTICE SIGN 2

NO SCALE



BLUE BACKGROUND WITH WHITE LETTERING

WHITE BACKGROUND WITH BLACK LETTERING

WHITE BACKGROUND WITH BLACK LETTERING

12"W x 18"

RF NOTICE SIGN

NO SCALE



YELLOW BACKGROUND WITH BLACK LETTERING

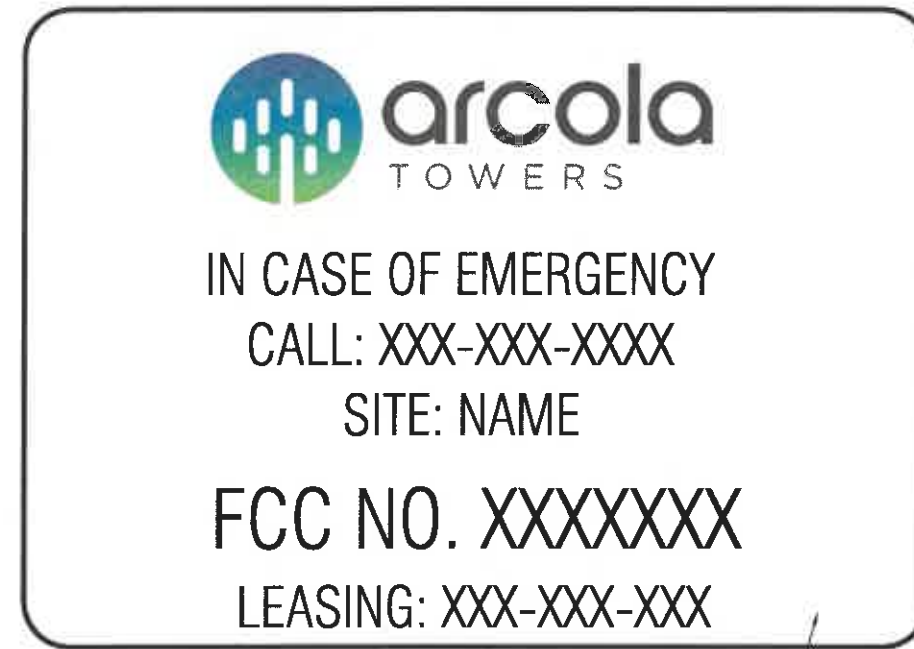
YELLOW BACKGROUND WITH BLACK LETTERING

WHITE BACKGROUND WITH BLACK LETTERING

12"W x 18"

RF CAUTION SIGN

NO SCALE



WHITE BACKGROUND WITH BLACK LETTERING

FACILITY CONTACT SIGN

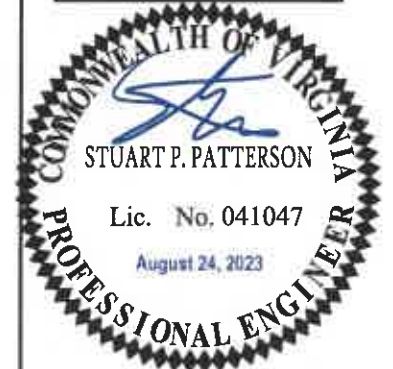
NO SCALE

WHITE BACKGROUND WITH BLACK LETTERING
18"H x 24"W



NO TRESPASSING SIGN

NO SCALE



SITE INFO:
SHEVA

5376 CHALK LEVEL ROAD
CHATHAM, VA
24531

DESIGN: SPP
DRAWN: MAA
REVIEW: SPP
TTV DATE: 03/09/23
COMM. NO. -

SUBMITTALS		
SYM	DESCRIPTION	DATE
1	ZONING DRAWING SUBMITTAL REVIEW SET	06/28/23
2	ZONING DRAWING SUBMITTAL	07/07/23
3	REVISED ZONING DRAWING SUBMITTAL	07/31/23
4	REVISED ZONING DRAWING SUBMITTAL	08/22/23
5	REVISED ZONING DRAWING SUBMITTAL	08/24/23

SHEET NAME:
SIGNAGE PLAN

SHEET NO.:
C-3

PLANT SCHEDULE							
TREES	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER		QTY	REMARKS
	IN	Ilex x 'Nellie R. Stevens' / Nellie R. Stevens Holly	2" Cal.	B&B/CONT.		8	PLANT AS SHOWN ON PLANS, MAX. 36" SPACING.
LARGE SHRUBS	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	SPACING	QTY	REMARKS
	MC	Myrica cerifera / Wax Myrtle	7 gal.	B&B/CONT.	48" o.c.	30	

GENERAL NOTES

- FOR LEGEND, PROJECT DATA, AND PROJECT NOTES SEE COVER SHEET AND "SP" SHEETS.
- VEGETATED AREA DISTURBED BY CONSTRUCTION SHALL BE TOPSOILED AND SEEDED TO RESTORE A PERMANENT VEGETATIVE COVER. SEE SEEDING SCHEDULES ON SHEET L-2.
- IN THE EVENT OF DISCREPANCIES BETWEEN THE PLANTING PLAN AND THE PLANT SCHEDULE, THE PLAN SHALL GOVERN. SUBSTITUTIONS MUST BE COORDINATED WITH THE COUNTY OF GLOUCESTER AND THE OWNER.

SHEET NOTES

- LANDSCAPE SHEETS ARE FOR LANDSCAPING PURPOSES ONLY. SEE SHEETS FROM OTHER DISCIPLINES, I.E. CIVIL, ELECTRICAL, ARCHITECTURAL, ETC. FOR THE MOST CURRENT INFORMATION PERTAINING TO THOSE DISCIPLINES.
- AREAS DISTURBED BY CONSTRUCTION NOT OTHERWISE PLANTED OR COVERED IN SITE CONTRACT ARE TO BE SODDED OR SEEDED WITH A STATE CERTIFIED TURF TYPE TALL FESCUE. SEE SHEET L-2 FOR SEEDING SCHEDULES.

LEASE NOTES

- 100' x 100' LEASE AREA.
- 20' WIDE INGRESS/EGRESS AND UTILITY/FIBER EASEMENT.
- VERIZON 12' x 20' LEASE AREA.

CONSTRUCTION NOTES

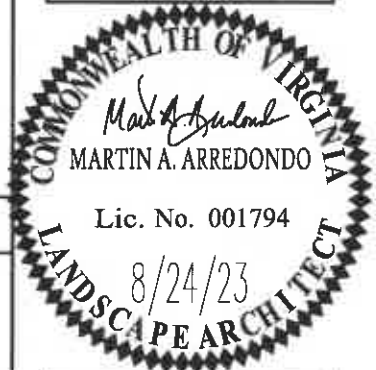
- SHRUB, TYP. SEE PLANT SCHEDULE THIS SHEET. SEE DETAIL, SHEET L-2.
- TREE, TYP. SEE PLANT SCHEDULE THIS SHEET. SEE DETAILS, SHEET L-2.



14489 ST ANDREWS LN
ASHLAND, VA 23005



112 W WASHINGTON ST, #201
MIDDLEBURG, VA 20117



SITE INFO:
SHEVA

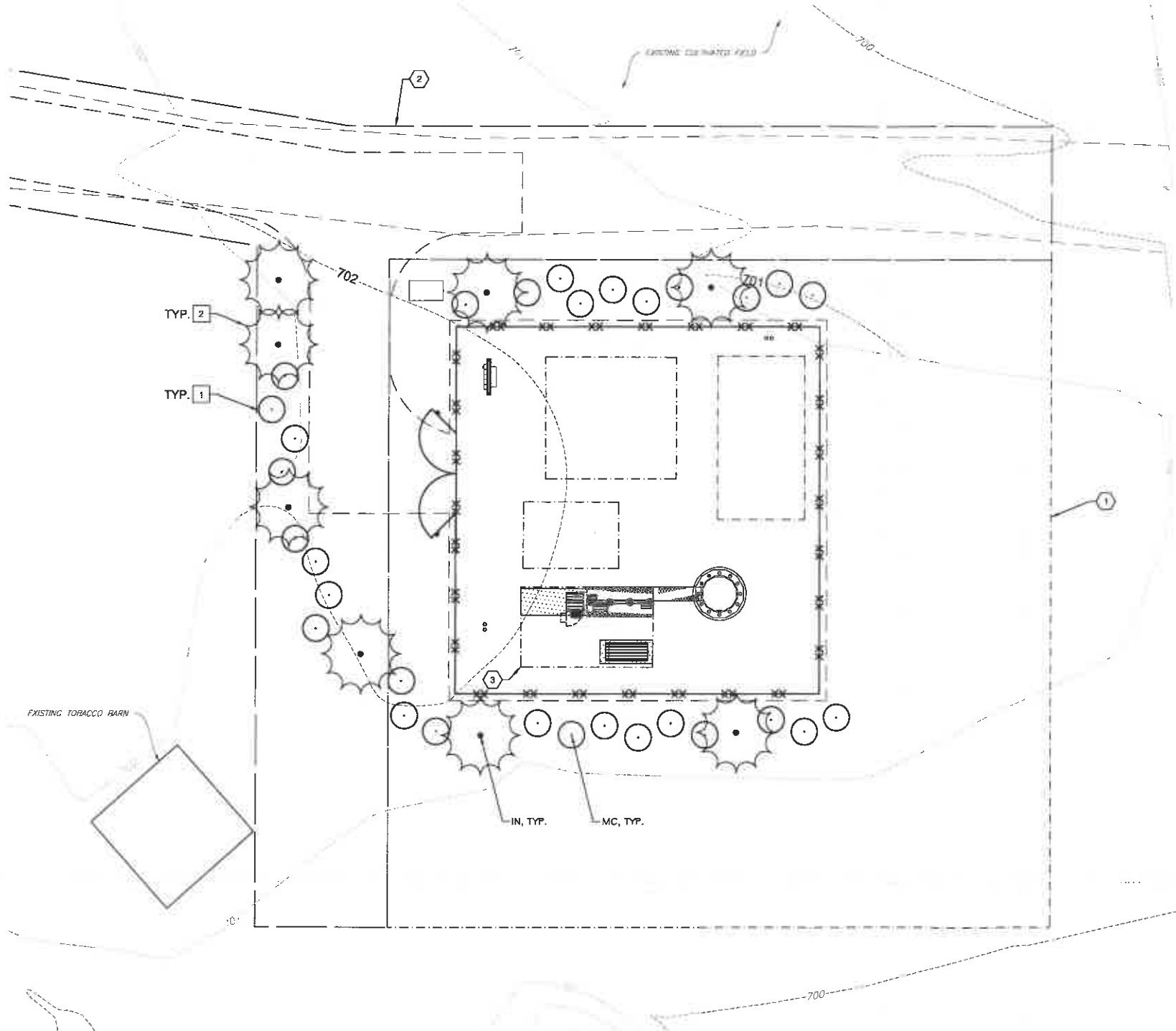
5376 CHALK LEVEL ROAD
CHATHAM, VA
24531

DESIGN:	SPP
DRAWN:	MAA
REVIEW:	SPP
TTV DATE:	03/09/23
COMM. NO.	

SUBMITTALS		
SYM.	DESCRIPTION	DATE
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5	REVISED ZONING DRAWING SUBMITTAL	08/24/23

SHEET NAME:
LANDSCAPE PLAN

SHEET NO.:
L-1



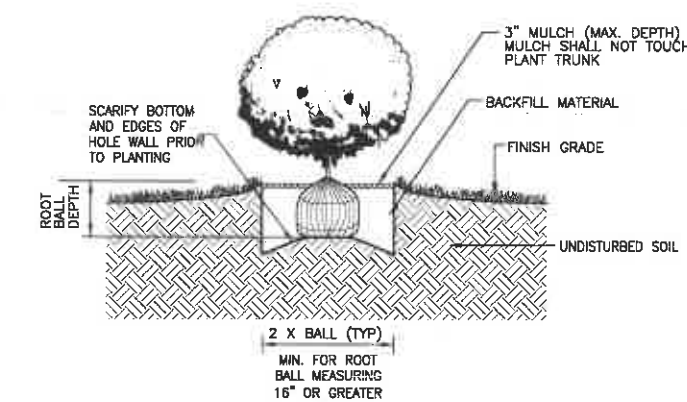
LANDSCAPE PLAN



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PLANTING NOTES

- CONTRACTOR SHALL GUARANTEE THE QUANTITIES AND PLANT TYPES REQUIRED TO COMPLETE THE LANDSCAPE PLAN AS SHOWN. PLANT SUBSTITUTIONS WILL NOT BE MADE WITHOUT THE WRITTEN CONSENT OF THE OWNER OR THE OWNER'S DESIGNATED REPRESENTATIVE AND THE COUNTY OF GLOUCESTER -- PRIOR TO INSTALLATION.
- LANDSCAPE MAINTENANCE: IMPROVEMENTS SHOWN HEREON SHALL BE SUBJECT TO REGULAR MAINTENANCE CONSISTING OF, BUT NOT LIMITED TO, FERTILIZATION, PRUNING, REPLACEMENT, INSECT AND DISEASE CONTROL, WATERING, MULCHING, AND WEED CONTROL.
- PLANTING SEASONS: BALL AND BURLAP PLANT MATERIAL SHALL BE INSTALLED FROM OCTOBER 15 TO MARCH 31. CONTAINER GROWN MATERIAL CAN BE PLANTED YEAR-ROUND. EVERGREEN TREES SHALL BE PLANTED BETWEEN SEPTEMBER 1 AND DECEMBER 1 OR IN SPRING BEFORE NEW GROWTH BEGINS. ANY OTHER DATES NOT LISTED SHALL BE CONSIDERED OUT OF SEASON. PLANT MATERIAL SUBJECT TO WARRANTY PERIOD REGARDLESS OF TIME OF INSTALLATION.
- AREAS DISTURBED BY CONSTRUCTION NOT COVERED BY IMPERVIOUS SURFACE MATERIALS OR PLANT BEDS OR TREE PITS SHALL BE SEEDED UNLESS OTHERWISE NOTED.
- TREES, SHRUBS, AND GROUND COVERS SHALL BE SPECIMEN QUALITY MEETING THE MINIMUM REQUIREMENTS OF THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS, LATEST EDITION, AND SHALL BE NURSERY-GROWN, AND IN A HEALTHY, INSECT AND DISEASE-FREE, CONDITION.
- TREES AND SHRUBS SHALL BE PLANTED IN ACCORDANCE WITH VIRGINIA COOPERATIVE EXTENSION PUBLICATION 430-295 "TREE AND SHRUB PLANTING GUIDELINES".
- CONTRACTORS ARE RESPONSIBLE FOR LOCATING AND AVOIDING UTILITIES AND UTILITY EASEMENTS DURING LANDSCAPING OPERATIONS. TREES AND SHRUBS HAVE BEEN LOCATED WITH RESPECT TO NEW OR EXISTING UTILITIES AND EASEMENTS AS ACCURATELY AS POSSIBLE. CONTRACTOR TO FIELD VERIFY THE LOCATIONS OF ALL UTILITIES, UNDERGROUND AND OVERHEAD, PRIOR TO INSTALLING PLANT MATERIAL. CONTACT "MISS UTILITY" OF VIRGINIA AT 811 AT LEAST 48 HOURS BEFORE ANY DIGGING TO AVOID CONFLICT WITH OR DAMAGE TO ANY UTILITIES.
- CONTRACTOR SHALL PROVIDE A ONE YEAR WARRANTY ON PLANTING MATERIAL AND INSTALLATION.
- BEFORE MULCHING, WATER PLANTINGS WITH A DEEP SOAKING TO WET THE SOIL 6"-10" DEEP. MAINTAIN WATERING AT A MINIMUM RATE OF ONE INCH PER WEEK FOR THE FIRST MONTH AND A RATE OF ONCE A WEEK FOR REMAINING PORTION OF THE PLANTING SEASON.
- IF FERTILIZER IS REQUIRED, FERTILIZE ALL PLANT MATERIAL AFTER WATERING WITH A SLOW RELEASE FERTILIZER TO PLANTS PER MANUFACTURER'S DIRECTIONS AT PLANTING. DO NOT FERTILIZE IF SOLUBLE SALT LEVELS ARE CONSIDERED HIGH. MODIFY SOIL CONDITIONS ACCORDINGLY.
- MULCHING SHALL BE COMPLETED WITHIN 48 HOURS AFTER PLANTING. MULCH SHALL BE SPREAD TO A DEPTH OF 3". OMIT THE COMPACTED EARTH SAUCER AND COVER THE BEDS WITH MULCH AT HEDGE ROWS. PROVIDE A CONTINUOUS BED OF MULCH. GROUPINGS OF SHRUBS SHALL BE INSTALLED IN CONTINUOUS MULCH BEDS.
- WHERE PLANTING BEDS ABUT WALK AND CURBS, DEPRESS TOPS OF MULCHED BEDS ONE (1) INCH.
- TEST SOIL PRIOR TO PLANTING TO ASSURE SUITABLE pH LEVEL AND CONDITION FOR PLANTING MATERIAL. AMEND OR REPLACE EXISTING SOIL BASED ON THE FOLLOWING RATES:
 - WHERE PLANTS AND/OR TURF GRASSES ARE TO BE ESTABLISHED, TOPSOIL OR A PREPARED SOIL MIXTURE SHALL BE APPLIED AT DEPTHS NOT LESS THAN SIX INCHES FOR GRASSES, TWELVE INCHES FOR SHRUBS, GROUND COVERS, AND ORNAMENTAL PLANTINGS AND EIGHTEEN INCHES FOR TREES IN AREAS WHERE THE SUBSOIL OR EXISTING SOIL PRESENTS ONE OR MORE OF THE FOLLOWING PROBLEMS:
 - THE TEXTURE, pH, OR NUTRIENT BALANCE OF THE AVAILABLE SOIL CANNOT BE MODIFIED BY REASONABLE MEANS TO PROVIDE AN ADEQUATE GROWTH MEDIUM FOR THE SPECIFIED PLANTS.
 - THE SOIL MATERIAL IS TOO SHALLOW TO PROVIDE AN ADEQUATE ROOT ZONE AND TO SUPPLY NECESSARY MOISTURE AND NUTRIENTS FOR PLANT GROWTH.
 - THE SOIL CONTAINS SUBSTANCES POTENTIALLY TOXIC TO PLANT GROWTH.
 OTHERWISE, THE EXISTING SOIL MIXTURES SHALL BE MODIFIED THROUGH THE USE OF SOIL AMENDMENTS (I.E. PEATMOSS, PERLITE, LIME, GYPSUM, ETC.) TO PROVIDE AN ADEQUATE GROWING MEDIUM.
- TOPSOIL OR PREPARED SOIL MIXTURES SHALL BE FRAGILE AND LOAMY, FREE OF DEBRIS, TRASH, STUMPS, ROCKS, ROOTS, NOXIOUS WEEDS, AND SUBSTANCES POTENTIALLY TOXIC TO PLANTS.
- TOPSOIL AND PREPARED SOIL MIXTURES SHALL MEET OR EXCEED THE FOLLOWING MINIMUM CRITERIA.
 - SOIL SOLIDS SHALL CONSIST OF 40-45 PERCENT SAND (NOT TO EXCEED 25% FINE SAND CONTENT), 40 PERCENT SILT, 10 PERCENT CLAY, AND 5-10 PERCENT ORGANIC MATTER.
 - pH LEVEL SHALL BE ADJUSTED AS NECESSARY TO MATCH THE SPECIFIC pH NEEDS OF THE PROPOSED PLANTS. A pH LEVEL OF 5.5 TO 6.5 IS GENERALLY ACCEPTABLE FOR MOST PLANTING MATERIAL.
 - SOILS WITH A HIGH LEVEL OF SOLUBLE SALTS SHALL BE AMENDED TO A LEVEL SUITABLE FOR THE SELECTED PLANT MATERIALS TO ESTABLISH PROPER ROOT GROWTH AND VITALITY.
- GROUPINGS OF PLANTS SHALL BE MULCHED IN CONTINUOUS BEDS.
- TREES SHALL NOT BE STAKED UNLESS SPECIFICALLY NOTED ON THE PLANTING PLAN. SEE DETAIL SHEET 10, IF STAKING IS NECESSARY.
- ALL INSTALLED PLANT MATERIAL SHALL BE SUBJECT TO REGULAR MAINTENANCE, INCLUDING FERTILIZATION, PRUNING, REPLACEMENT, INSECT AND DISEASE CONTROL, WATERING, MULCHING, AND WEED CONTROL.
- FOUNDATION PLANTINGS SHALL BE INSTALLED A MINIMUM OF 3' FROM THE FACE OF THE BUILDING.
- BUFFER PLANTINGS SHALL BE INSTALLED SO THAT MATURE SHRUB GROWTH WILL NOT EXTEND BEYOND THE PROPERTY LINE OR RIGHT-OF-WAY LINE INTO WALKWAYS, AISLES, CREATING AN IMPEDIMENT.



SHRUB PLANTING
NOT TO SCALE

TABLE 3.32-E
(Revised June 2003)
PERMANENT SEEDING SPECIFICATIONS FOR PIEDMONT AREA

LAND USE	SEED SPECIES	APPLICATION PER ACRE
Minimum Care Lawn (Commercial or Residential)	Tall Fescue	95-100%
	Perennial Ryegrass	0-5%
	Kentucky Bluegrass	0-5%
TOTAL: 175-200 lbs.		
High-Maintenance Lawn	Tall Fescue	TOTAL: 200-250 lbs.
General Slope (3:1 or less)	Tall Fescue	128 lbs.
	Red Top Grass or Creeping Red Fescue	2 lbs.
	Seasonal Nurse Crop	20 lbs.
	Total: 150 lbs.	
LOW-Maintenance Slope (Sleeper Than 3:1)	Tall Fescue	108 lbs.
	Red Top Grass or Creeping Red Fescue	2 lbs.
	Seasonal Nurse Crop	20 lbs.
	Crownvetch	20 lbs.
Total: 150 lbs.		

1- When selecting varieties of turfgrass, use the Virginia Crop Improvement Association (VCIA) recommended turfgrass variety list. Quality seed will bear a label indicating that they are approved by VCIA. A current turfgrass variety list is available at the local County Extension office or through VCIA at 804-748-4884 or at <http://suden.ces.vt.edu/html/Turf/vegetation/publications2.html>

2- Use seasonal nurse crop in accordance with seeding dates as stated below:

February 16th - April	Annual Rye
May 1st - August 15th	Foxtail Millet
August 16th - October	Annual Rye
November - February 15th	Winter Rye

3- Substitute Sericea Lespedeza for Crownvetch east of Farmville, VA (May through September use hulled seed, all other periods, use unhulled Sericea). If Platysa is used, increase to 30 lbs/acre. If weeping lovegrass is used, including in any slope or low maintenance mixture during warmer seeding periods, increase to 30-40 lbs/acre.

FERTILIZER & LIME

- Apply 10-20-10 fertilizer at a rate of 500 lbs./acre (or 12 lbs./1,000 sq. ft.)
- Apply Pulverized Agricultural Limestone at a rate of 2 tons/acre (or 90 lbs./1,000 sq. ft.)

NOTE:
-A soil test is necessary to determine the actual amount of lime required to adjust the soil pH of the site.
-Incorporate the lime and fertilizer into the top 4-6 inches of the soil by disking or by other means.
-When applying Slowly Available Nitrogen, use rates available in Erosion & Sediment Control Technical Bulletin #4, 2003 Nutrient Management for Development Sites at <http://www.dcr.state.va.us/sw/e&s.html#tubs>

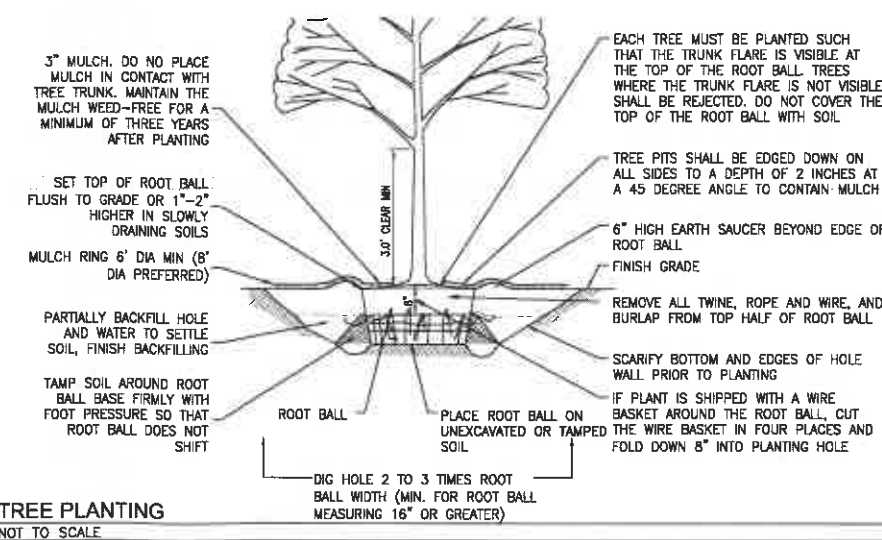
TABLE 3.31-B
(REVISED JUNE 2003)
TEMPORARY SEEDING SPECIFICATIONS
QUICK REFERENCE FOR ALL REGIONS

APPLICATION DATES	SEED SPECIES	APPLICATION RATES
SEPT. 1 - FEB. 15	50/50 MIX OF ANNUAL GRASS (LOLIUM MULTI-F-LORUM) & CEREAL (WINTER) RYE (SECALE CEREALE)	50-100 (LBS/ACRE)
FEB. 16 - APR. 30	ANNUAL RYEGRASS (LOLIUM MULTI-F-LORUM)	60-100 (LBS/ACRE)
MAY 1 - AUG. 31	BERMAN MILLET	50 (LBS/ACRE)

FERTILIZER AND LIME

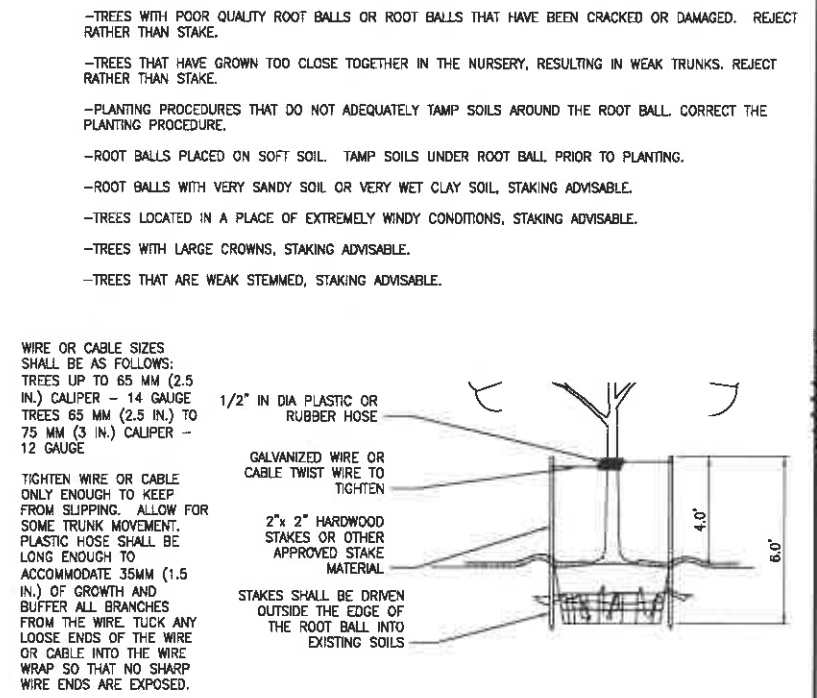
- APPLY 10-10-10 FERTILIZER AT A RATE OF 500LBS/ACRE (OR 10LBS/1,000 SQFT)
- APPLY PULVERIZED AGRICULTURAL LIMESTONE AT A RATE OF 2 TONS/ACRE (OR BOLBS/1,000 SQFT)

NOTE:
-A SOIL TEST IS NECESSARY TO DETERMINE THE ACTUAL AMOUNT OF LIME REQUIRED TO ADJUST THE SOIL pH OF SITE.
-INCORPORATE THE LIME AND FERTILIZER INTO THE TOP 4-6 INCHES OF THE SOIL BY DISKING OR BY OTHER MEANS.
-WHEN APPLYING SLOWLY AVAILABLE NITROGEN, USE RATES AVAILABLE IN EROSION & SEDIMENT CONTROL TECHNICAL BULLETIN #4, 2003 NUTRIENT MANAGEMENT FOR DEVELOPMENT SITES AT <http://www.dcr.state.va.us/sw/e&s.html#tubs>



TREE PLANTING
NOT TO SCALE

- NOTES:**
- ASSURE THAT THE BEARING SURFACE OF THE PROTECTIVE COVERING OF THE WIRE OR CABLE AGAINST THE TREE TRUNK IS A MINIMUM OF 1/2".
 - REMOVE STAKING AS SOON AS THE TREE HAS GROWN SUFFICIENT ROOTS TO OVERCOME THE PROBLEM THAT REQUIRED THE TREE TO BE STAKED. STAKES SHALL BE REMOVED NO LATER THE END OF THE FIRST GROWING SEASON AFTER PLANTING.
 - TREES NORMALLY DO NOT NEED TO BE STAKED AND STAKING CAN BE HARMFUL TO THE TREE. STAKING SHOULD BE DONE ONLY WITH THE APPROVAL OF THE LANDSCAPE ARCHITECT IF IT IS EXPECTED THAT THE TREE WILL NOT BE ABLE TO SUPPORT ITSELF. THE FOLLOWING ARE REASONS WHY TREES DO NOT REMAIN STRAIGHT.
 - TREES WITH POOR QUALITY ROOT BALLS OR ROOT BALLS THAT HAVE BEEN CRACKED OR DAMAGED. REJECT RATHER THAN STAKE.
 - TREES THAT HAVE GROWN TOO CLOSE TOGETHER IN THE NURSERY, RESULTING IN WEAK TRUNKS. REJECT RATHER THAN STAKE.
 - PLANTING PROCEDURES THAT DO NOT ADEQUATELY TAMP SOILS AROUND THE ROOT BALL. CORRECT THE PLANTING PROCEDURE.
 - ROOT BALLS PLACED ON SOFT SOIL. TAMP SOILS UNDER ROOT BALL PRIOR TO PLANTING.
 - ROOT BALLS WITH VERY SANDY SOIL OR VERY WET CLAY SOIL, STAKING ADVISABLE.
 - TREES LOCATED IN A PLACE OF EXTREMELY WINDY CONDITIONS, STAKING ADVISABLE.
 - TREES WITH LARGE CROWNS, STAKING ADVISABLE.
 - TREES THAT ARE WEAK STEMMED, STAKING ADVISABLE.



TREE STAKING (FOR TREES 3" IN CALIPER OR LESS)
NOT TO SCALE

b

14489 ST ANDREWS LN
ASHLAND VA 23005

arc
COLA
FLOWERS

112 W WASHINGTON ST, #201
MIDDLEBURG VA 20117

verizon

COMMONWEALTH OF VIRGINIA
MARTIN A. ARREDONDO
Lic. No. 001794
8/24/23
LANDSCAPE ARCHITECT

SITE INFO:
SHEVA

5376 CHALK LEVEL ROAD
CHATHAM, VA
24531

DESIGN: SPP
DRAWN: MAA
REVIEW: SPP
TTV DATE: 03/09/23
COMM. NO.

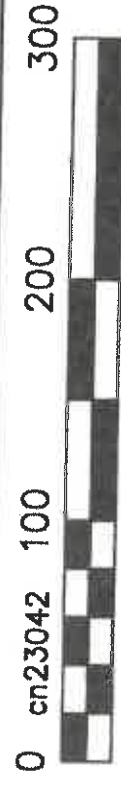
SUBMITTALS

SYM	DESCRIPTION	DATE
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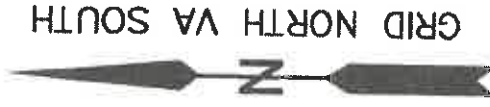
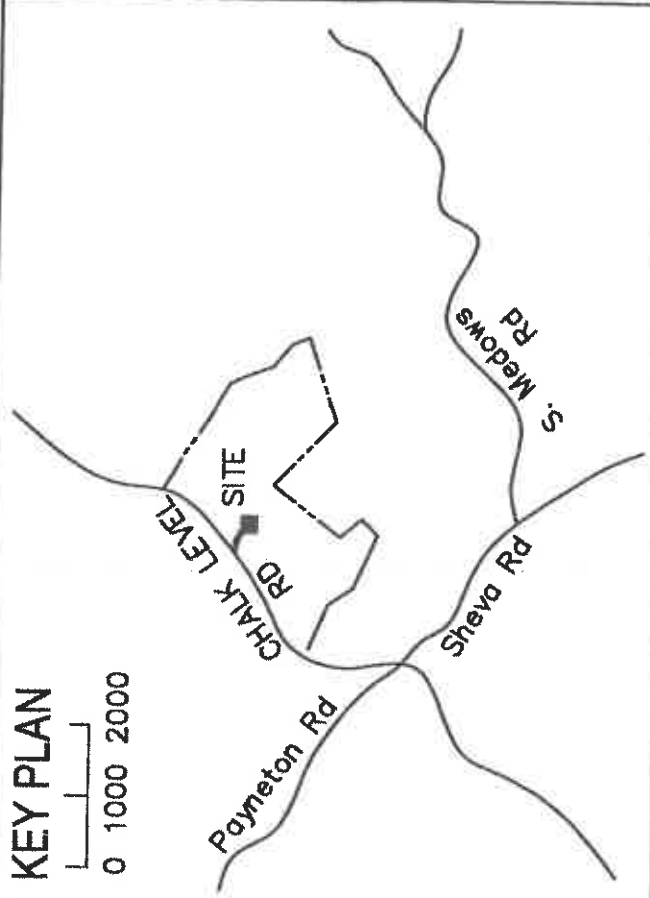
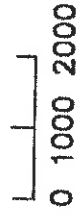
SHEET NAME:
LANDSCAPE DETAILS

SHEET NO.:
L-2

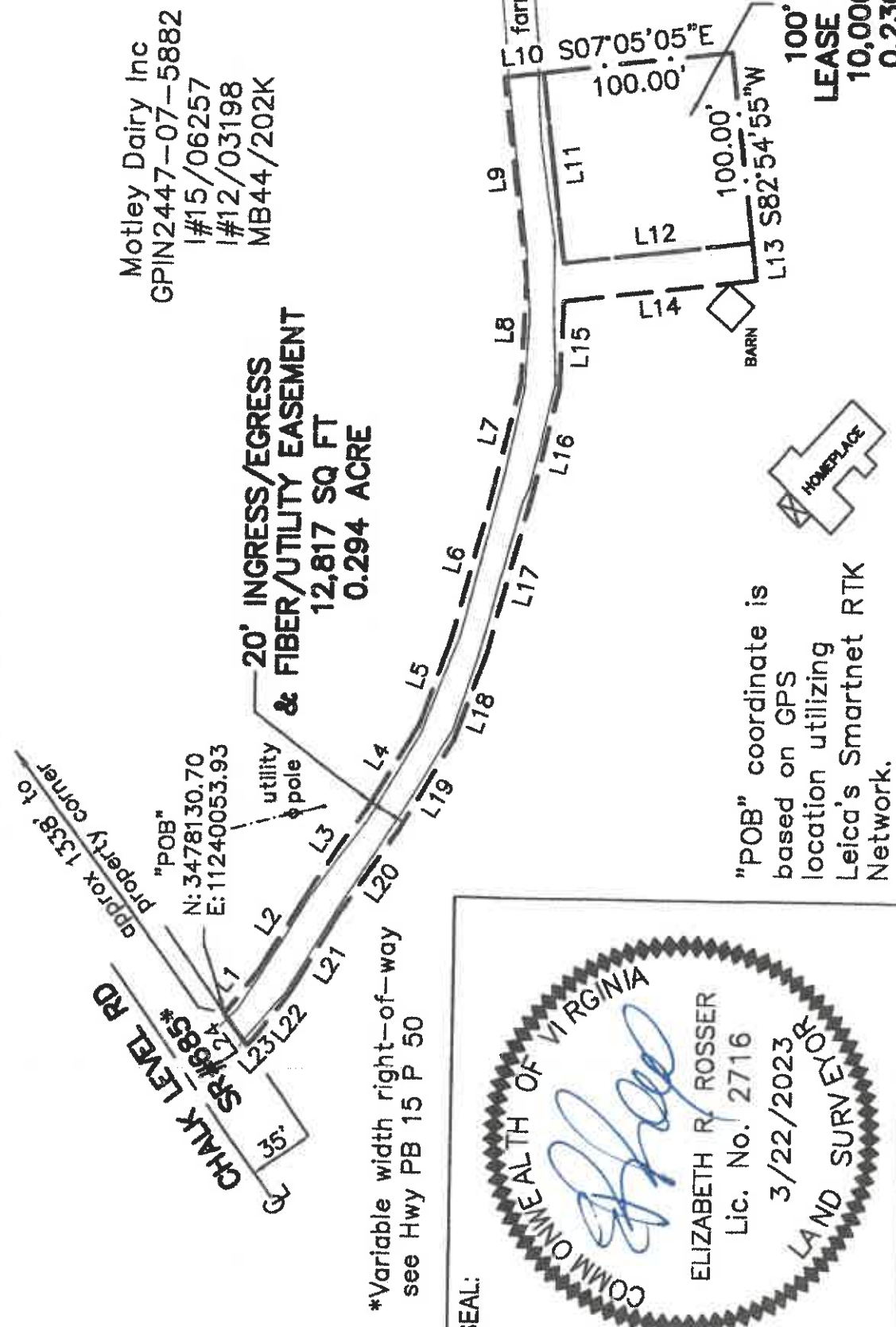
PROPERTY PLAN



KEY PLAN



LINE	BEARING	DISTANCE
L1	S52°45'33"E	28.13'
L2	S58°35'51"E	49.53'
L3	S55°33'40"E	52.87'
L4	S59°11'54"E	52.21'
L5	S70°03'25"E	46.17'
L6	S75°16'40"E	82.52'
L7	S76°45'15"E	56.99'
L8	S87°56'35"E	54.66'
L9	N82°54'55"E	106.11'
L10	S07°05'05"E	20.00'
L11	S82°54'55"W	100.00'
L12	S07°05'05"E	100.00'
L13	S82°54'55"W	20.00'
L14	N07°05'05"W	101.98'
L15	N87°56'35"W	45.77'
L16	N76°45'15"W	59.21'
L17	N75°16'40"W	83.69'
L18	N70°03'25"W	48.99'
L19	N59°11'54"W	54.74'
L20	N55°33'40"W	52.97'
L21	N58°35'51"W	50.02'
L22	N52°45'33"W	30.44'
L23	N45°24'03"W	4.97'
L24	N54°06'19"E	20.28'



Motley Dairy Inc
 GPIN2447-07-5882
 #15/06257
 #12/03198
 MB44/202K

**20' INGRESS/EGRESS
 & FIBER/UTILITY EASEMENT**
 12,817 SQ FT
 0.294 ACRE

*Variable width right-of-way
 see Hwy PB 15 P 50



**100' x 100'
 LEASE PREMISES
 10,000 SQ FT
 0.230 ACRE**

NOTES:

- PROPERTY LINES SHOWN BASED ON RECORDED DEEDS AND PLATS. IT WAS COMPLETED WITHOUT A TITLE REPORT. THIS IS NOT A BOUNDARY SURVEY.
- PROJECT IS UNDER THE JURISDICTION OF PITTSYLVANIA COUNTY.
- FIELD WORK COMPLETED ON 03/22/2023.

SURVEYOR OF RECORD:



P.O. Box 90
 2292 Lynch Mill Rd
 Altavista, VA 24517
 434-309-1101

ENGINEER OF RECORD:



BAMAN CONSULTING, LLC
 14489 ST ANDREWS LN
 ASHLAND, VA 23005
 PHONE: 703.328.8574

PROJECT:

SHEVA SITE SKETCH

SITE INFORMATION:

CHALK LEVEL RD
 CHATHAM, VA 24531

SHEET NO:

1 of 2

20' INGRESS/EGRESS & FIBER/UTILITY EASEMENT DESCRIPTION:

Beginning at a point on the southeasterly right-of-way of Chalk Level Road, which is 35' southeast of the road centerline, and having a coordinate of N:3478130.70 E:11240053.93, thence leaving the said road right-of-way S 52°45'33" E a distance of 28.13' to a point; thence S 58°35'51" E a distance of 49.53' to a point; thence S 55°33'40" E a distance of 52.87' to a point; thence S 59°11'54" E a distance of 52.21' to a point; thence S 70°03'25" E a distance of 46.17' to a point; thence S 75°16'40" E a distance of 82.52' to a point; thence S 76°45'15" E a distance of 56.99' to a point; thence S 87°56'35" E a distance of 54.66' to a point; thence N 82°54'55" E a distance of 106.11' to a point; thence S 07°05'05" E a distance of 20.00' to a point; thence S 82°54'55" W a distance of 100.00' to a point; thence S 07°05'05" E a distance of 100.00' to a point; thence S 82°54'55" W a distance of 20.00' to a point; thence N 07°05'05" W a distance of 101.98' to a point; thence N 87°56'35" W a distance of 45.77' to a point; thence N 76°45'15" W a distance of 59.21' to a point; thence N 75°16'40" W a distance of 83.69' to a point; thence N 70°03'25" W a distance of 48.99' to a point; thence N 59°11'54" W a distance of 54.74' to a point; thence N 55°33'40" W a distance of 52.97' to a point; thence N 58°35'51" W a distance of 50.02' to a point; thence N 52°45'33" W a distance of 30.44' to a point; thence N 45°24'03" W a distance of 4.97' to a point on the southeasterly right-f-way of said road; thence with road right-of-way N 54°06'19" E a distance of 20.28' to the point of beginning and having an area of 12,817 square feet, 0.294 acres.

LEASE PREMISES DESCRIPTION:

Commencing at a point on the southeasterly right-of-way of Chalk Level Road, which is 35' southeast of the road centerline, and having a coordinate of N:3478130.70 E:11240053.93, thence leaving the said road right-of-way S 52°45'33" E a distance of 28.13' to a point; thence S 58°35'51" E a distance of 49.53' to a point; thence S 55°33'40" E a distance of 52.87' to a point; thence S 59°11'54" E a distance of 52.21' to a point; thence S 70°03'25" E a distance of 46.17' to a point; thence S 75°16'40" E a distance of 82.52' to a point; thence S 76°45'15" E a distance of 56.99' to a point; thence S 87°56'35" E a distance of 54.66' to a point; thence N 82°54'55" E a distance of 106.11' to a point; thence S 07°05'05" E a distance of 20.00' to a point and the point of beginning, thence S 07°05'05" E a distance of 100.00' to a point; thence S 82°54'55" W a distance of 100.00' to a point; thence N 07°05'05" W a distance of 100.00' to a point; thence N 82°54'55" E a distance of 100.00' to the point of beginning and containing 10,000 square feet and 0.230 acres.

SEAL:



NOTES:

1. PROPERTY LINES SHOWN BASED ON RECORDED DEEDS AND PLATS. IT WAS COMPLETED WITHOUT A TITLE REPORT. THIS IS NOT A BOUNDARY SURVEY.
2. PROJECT IS UNDER THE JURISDICTION OF PITTSYLVANIA COUNTY.
3. FIELD WORK COMPLETED ON 03/22/2023.

SURVEYOR OF RECORD:



P.O. Box 90
2292 Lynch Mill Rd
Altavista, VA 24517
434-309-1101

ENGINEER OF RECORD:



BAMMAN CONSULTING, LLC
14489 ST ANDREWS LN
ASHLAND, VA 23005
PHONE: 703.328.8574

PROJECT:

SHEVA SITE SKETCH

SITE INFORMATION:

CHALK LEVEL RD
CHATHAM, VA 24531

SHEET NO:

2 of 2

STAFF SUMMARY

CASE NUMBER: Z-23-001	ZONINGCLASSIFICATION: B-2	CYCLE October 2023/November 2023
AGENDA TITLE: Off-site advertisement sign.		PLANNING COMMISSION: October 3, 2023
SUBJECT/PROPOSAL/REQUEST: Atkinsons, LLC, is requesting a Sign Permit for a 10 x 30 (300 square feet), double-sided, illuminated, off-site advertisement sign.		BOARD OF ZONING APPEALS: November 13, 2023
DISTRICT: Chatham-Blairs		ADVERTISED: September 20 & 27, 2023 & October 25, 2023 & November 1, 2023
		REVIEWED BY:

BACKGROUND:

Atkinsons, LLC, petitioned the Planning Commission/Board of Zoning Appeals on September 30, 2010, requesting a Sign Permit on 1.83 acres, shown on the records as GPIN # 2423-27-1596, located on U.S. Highway 29.

DISCUSSION:

The applicant would like to apply for an off-site advertisement sign. The size of the sign will be 10 x 30 (300 square feet). The sign will be double-sided. Both sides of the sign will be lit with one (1) light fixture per side. A drawing of the sign and specifications of the sign are located in the Board packet. This property was rezoned to B-2, Business District, General, in September 2010 (Case R-10-034). A sign permit was granted on November 9, 2010 (Z-10-005); however, Pittsylvania County Code states that permits are only valid for a period of eighteen (18) months. If the use has not commenced within the eighteen (18) month period, the permit expires. Since the sign was not constructed, the original permit has expired.

ZONING AND CURRENT USE OF SURROUNDING PROPERTIES

Adjacent to B-2, Business District, General, R-1, Residential Suburban Subdivision District and A-1, Agricultural District zoned properties.

COMPREHENSIVE PLAN DESIGNATION

Commercial Uses

SITE DEVELOPMENT PLAN

N/A

RECOMMENDATION:

Staff recommends APPROVAL of Case Z-23-001 as submitted, by Atkinsons, LLC.

PLANNING COMMISSION OPTIONS:

1. Recommend approval of Case Z-23-001 as submitted.
2. Recommend denial of Case Z-23-001 as submitted.

ATTACHMENTS:

- A. Application

- B. Map
- C. Letter of Intent
- D. Executive Summary
- E. Petition
- F. Sign Affidavit
- G. Adjacent Parcel Owners

**PITTSYLVANIA COUNTY
APPLICATION FOR SIGN PERMIT**

Atkinsons, LLC, as owner of the below described property, hereby apply to the Pittsylvania County Board of Zoning Appeals to amend the Pittsylvania County Zoning Maps as hereinafter described:

1. Property Owner's Name: Atkinsons, LLC
Address: 7441 Dry Fork Road, Dry Fork, VA 24549 Telephone: (434) 441-0728

2. Location of Property: 11421 U.S. Highway 29

3. Tax Map Number: 2423-27-1596

Total Amt.: \$350.00

Taken By: check# 1136

4. Election District: Chatham-Blairs

og

5. Size of Property: 1.83 Acre

6. Existing Land Use: Commercial Business

Existing Zoning: B-2, Business District General

7. Proposed Land Use: A 10 x 30 (300 Square Feet), double-sided, illuminated, off-site advertisement sign

8. Check completed items:

Letter of Application Site Development Plan Legal Forms
 11"x 17" Concept Plan Application Fee List of Adjoining Properties
 Plat Map

Through application for this permit, the owner authorizes a right-of-entry to the designated personnel of Pittsylvania County for the purpose of site evaluation and monitoring for compliance with the Pittsylvania County Zoning Ordinance.


JoAnn Atkinson

OFFICE USE ONLY

Application Deadline: 08/31/23

Received By: ESR

B.Z.A. Meeting Date: 11/13/23

Application No. Z-23-001

P.C. Meeting Date: 10/03/23

Date Received: 08/04/23

Action: _____

**VIRGINIA:
BEFORE THE BOARD OF ZONING APPEALS OF PITTSYLVANIA COUNTY**

A 1.83 acre parcel of land)
generally located on U.S. Highway 29)
within the Chatham-Blairs) **PETITION**
Election District, and recorded as)
parcel # 2423-27-1596 in the)
Pittsylvania County Tax records.)

TO THE BOARD OF ZONING APPEALS OF PITTSYLVANIA COUNTY:

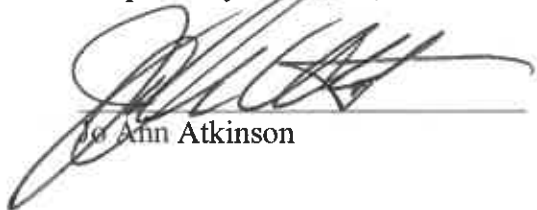
WHEREAS, your Petitioner, Atkinsons, LLC, respectfully files this petition pursuant to Sections 35-713 of the Pittsylvania County Zoning Ordinance and in accordance with the Code of Virginia, 1950, as amended, and would respectfully show the following:

- (1) The Petitioner is the owner of the above-referenced parcel of land, or is filing with the owner's consent.
- (2) The property is presently zoned under the provisions of the Pittsylvania County Zoning Ordinance as B-2, Business District, General.
- (3) Your petitioner now desires to have a Sign Permit issued for a 10 x 30 (300 square feet), double-sided, illuminated, off-site advertisement sign.

WHEREFORE, your Petitioner respectfully requests that the above-referenced parcel of land be issued a Sign Permit as set out in Number 3.

FURTHER, your Petitioner respectfully requests that this petition be referred by the Zoning Administrator to the Pittsylvania County Planning Commission for its consideration and recommendation.

Respectfully submitted,



Jo Ann Atkinson

August 31, 2023

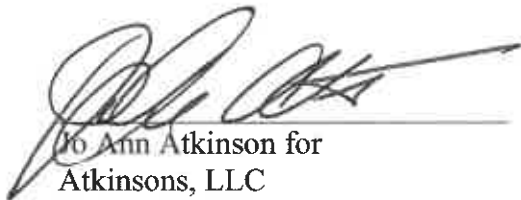
Mrs. Emily Ragsdale.
Director of Code Compliance
P. O. Drawer D
Chatham, VA 24531

Dear Mr. Shelton:

Atkinsons, LLC, would like to apply to the Planning Commission/Board of Zoning Appeals for a Sign Permit on 1.83 acres, located on U.S. Highway 29, in the Chatham-Blairs Election District. This parcel is shown on the records as GPIN # 2423-27-1596.

Atkinsons, LLC, would like to apply for a 10 x 30 (300 square feet), double-sided (total of four (4) panels), illuminated, off-site advertisement sign.

Sincerely,



Jo Ann Atkinson for
Atkinsons, LLC



OFFICE OF COMMUNITY DEVELOPMENT
P.O. DRAWER D
Chatham, Virginia 24531
(434) 432-1771

SIGN AFFIDAVIT

Sec. 35-817. POSTING OF PROPERTY - PLANNING COMMISSION HEARING-

At least fourteen (14) days preceding the Commission's public hearing on a zoning map amendment, there shall be erected on the property proposed to be rezoned; a sign or signs provided by the Zoning Administrator indicating the date, time, and place of the public hearing. The sign shall be erected within ten (10) feet of whatever boundary line of such land abuts a public road and shall be so placed as to be clearly visible from the road with the bottom of the sign not less than two and one-half (2 1/2) feet above the ground. If more than one (1) such road abuts the property, then a sign shall be erected in the same manner as above for each such abutting road. If no public road abuts thereon, then signs shall be erected in the same manner as above on at least two (2) boundaries of the property abutting land not owned by the applicant.

Sec. 35-818. POSTING OF PROPERTY - BOARD OF SUPERVISORS HEARING-

When a public hearing has been scheduled before the Board of Supervisors for a Zoning Map amendment, there shall be erected, at least fourteen (14) days preceding such hearing, a sign or signs provided by the Zoning Administrator indicating the date, time and place of the public hearing. Such sign or signs shall be erected in the same manner as prescribed in Section 35-817 above.

Sec. 35-819. MAINTENANCE AND REMOVAL OF SIGNS.

Any sign erected in compliance with this section shall be maintained at all times by the applicant up to the time of the hearing. It shall be unlawful for any person, except the applicant or the Zoning Administrator or an authorized agent of either, to remove or tamper with any sign furnished during the period it is required to be maintained under this Section. All signs erected under this Section shall be removed by the applicant within fourteen (14) days following the public hearing for which it was erected.

I have read and understand Sections 35-817, 35-818, and 35-819 of the Pittsylvania County Zoning Ordinance. I understand it is my responsibility to post, maintain and remove this/these sign or signs, according to Section 35-817, Section 35-818, and 35-819. If this sign is removed or destroyed, I understand it is my responsibility to obtain another sign from the Zoning office, post the property and maintain the sign(s), according to the above Sections of the Pittsylvania County Zoning Ordinance.

Should the property not be posted and the sign(s) maintained as required above, I understand the board may defer the case.

Case Z-23-001 Applicant  Date 9/22/23

GPIN	ACCOUNT HOLDER	ACCOUNT ADDRESS	ACCOUNT_CSZ
2423-38-3823	SCHOOL BOARD OF PITTSYLVANIA CO	P O BOX 232	CHATHAM, VA 24531
2423-27-6415	BOARD OF SUPERVISORS PITTS CO	P O BOX 426	CHATHAM, VA 24531
2423-27-7232	ERWIN, PAUL DAVID	416 RIDDLE ROAD	CHATHAM, VA 24531
2423-27-2126	ATKINSONS LLC	7441 DRY FORK RD	DRY FORK, VA 24549
2423-27-1686	M & O ASSOCIATES	12500 US HWY 29	CHATHAM, VA 24531

Z-23-001 ATKINSONS, LLC

ArcGIS Web Map



8/4/2023, 3:07:08 PM

1:1,128

Virginia Cities and Counties

○ Addresses

0 0.01 0.01 0.03 mi

County

Route Numbers

0 0.01 0.02 0.04 km

Tax Parcels (All)

Streets

Assessed Parcels

ALL OTHER

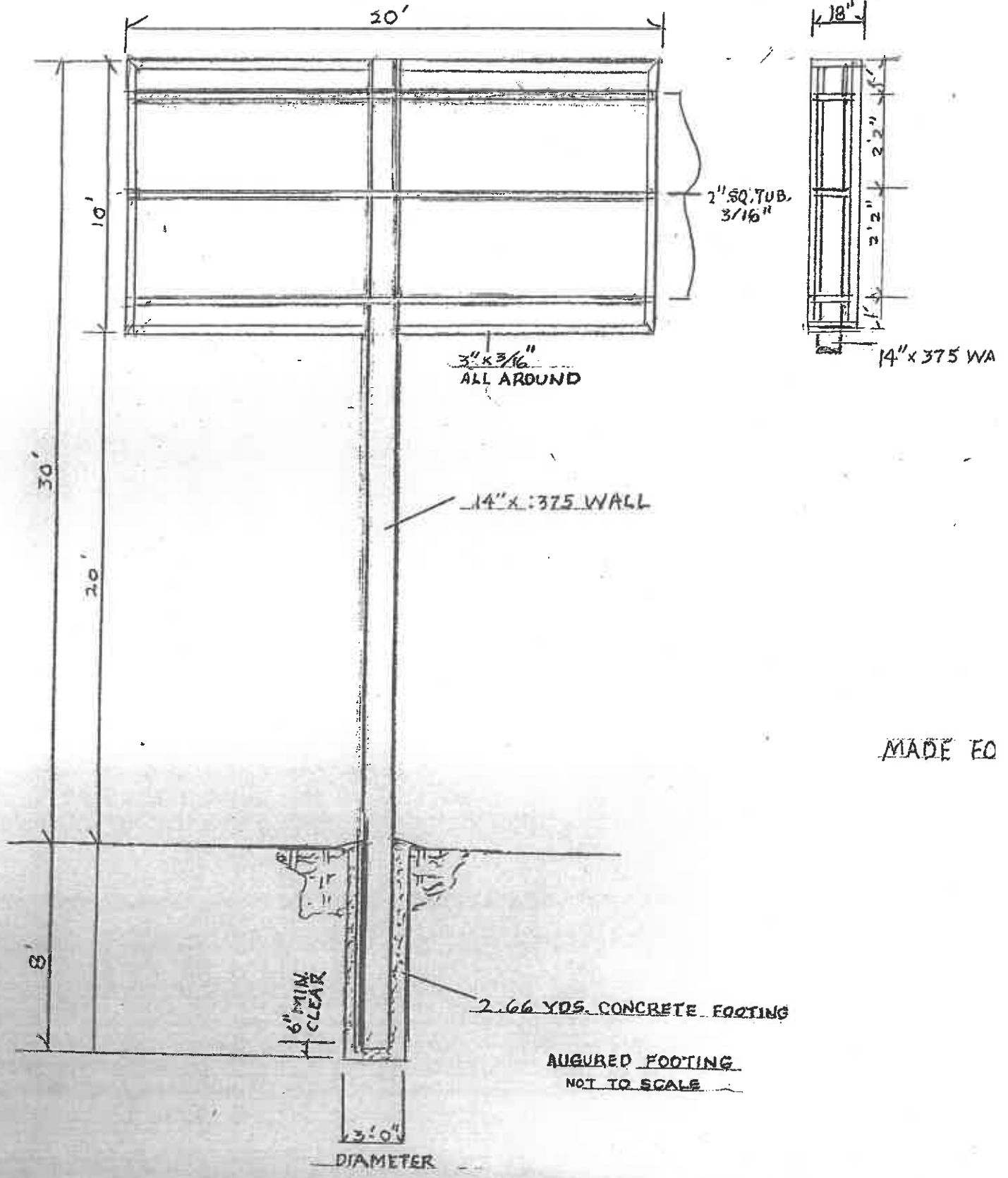
Esri Community Maps Contributors, VGIN, © OpenStreetMap, Microsoft, Esri, HERE, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, EPA, NPS, US Census Bureau, USDA, Virginia Geographic Information Network (VGIN)

Assessed Parcels Labels

ArcGIS Web AppBuilder

PLAN VIEW

END VIEW



MADE EO

AUGURED FOOTING
NOT TO SCALE

COMPANY: Power Sign
PROJECT: Powers 1

Architectural Services & Engineering, Inc
2047 Osprey Lane
Suite 200
Lutz, FL 33549
EBO 7882

Robert W. Wall, PE
Fla 46021

Sample Calculations
Wind Load = WL
WL = Cf * WIND kof
WL = 1.2 * .012
Force = 1.4423 * 292.
Force = 4.2188 kips

$$Z_{req} = \frac{\text{Moment} * 12}{fb * NC}$$

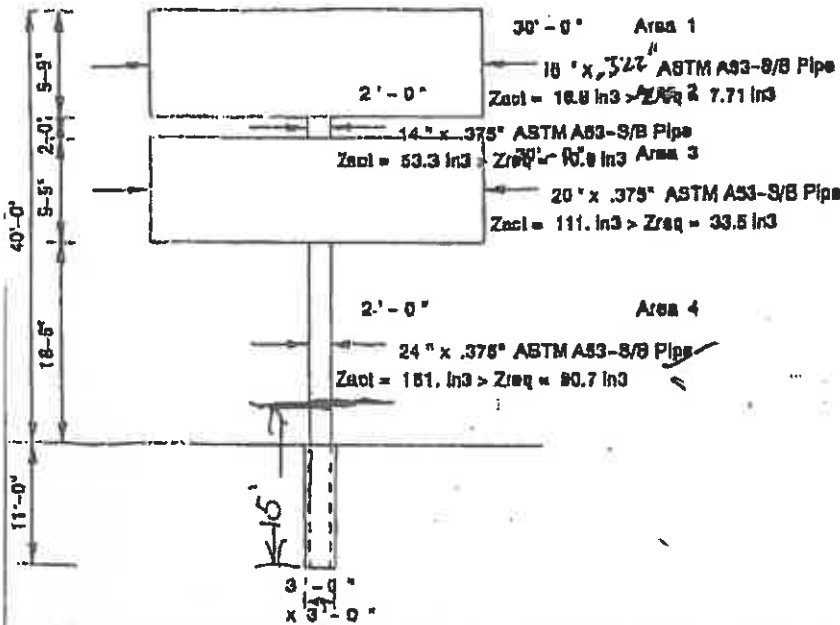
fb = 21.0 ksi for Steel pipe
fb = 27.6 ksi for Steel pipe
fb = 19.0 ksi for Aluminum
LDF = 1.39

$$Z_{req} = \frac{20.88 * 12}{24 * 1.39 * 1}$$

$$Z_{req} = 7.714 \text{ in}^3$$

Concrete approx. 3.88 cu. yds
Concrete is 3000 psi at 28 days
Wind loads - ASCE 7-98

Steel - AISC-ASD Ninth Edition
Soil bearing capacity 2000 psi (2 ksi)



WIND - ASCE - Exposure C - 80 mph

	Cf	Wind (psf)	AREA (ft2)	y (ft)	FORCE (kips)	MOMENT (k-ft)	Z REQ (in3)
	1.00	1.20	292.50	35.13	4.22	20.57	7.71
	2.00	0.70	4.00	29.25	0.03	29.04	10.89
	3.00	1.20	292.50	23.38	3.87	89.37	33.52
	4.00	0.70	37.00	9.25	0.26	242.06	90.80
TOTALS			626.00		8.38		

$$\text{MEAN SIGN HEIGHT (HB)} = \frac{\text{MOMENT AT GROUND}}{\text{TOTAL FORCE}} = \frac{242.0 \text{ k-ft}}{8.383 \text{ kips}} = 28.8 \text{ ft}$$

CHECK FOOTING

$$P_{allow} = \frac{S * b * d^2}{2.37 * d + 2.64 * HB}$$

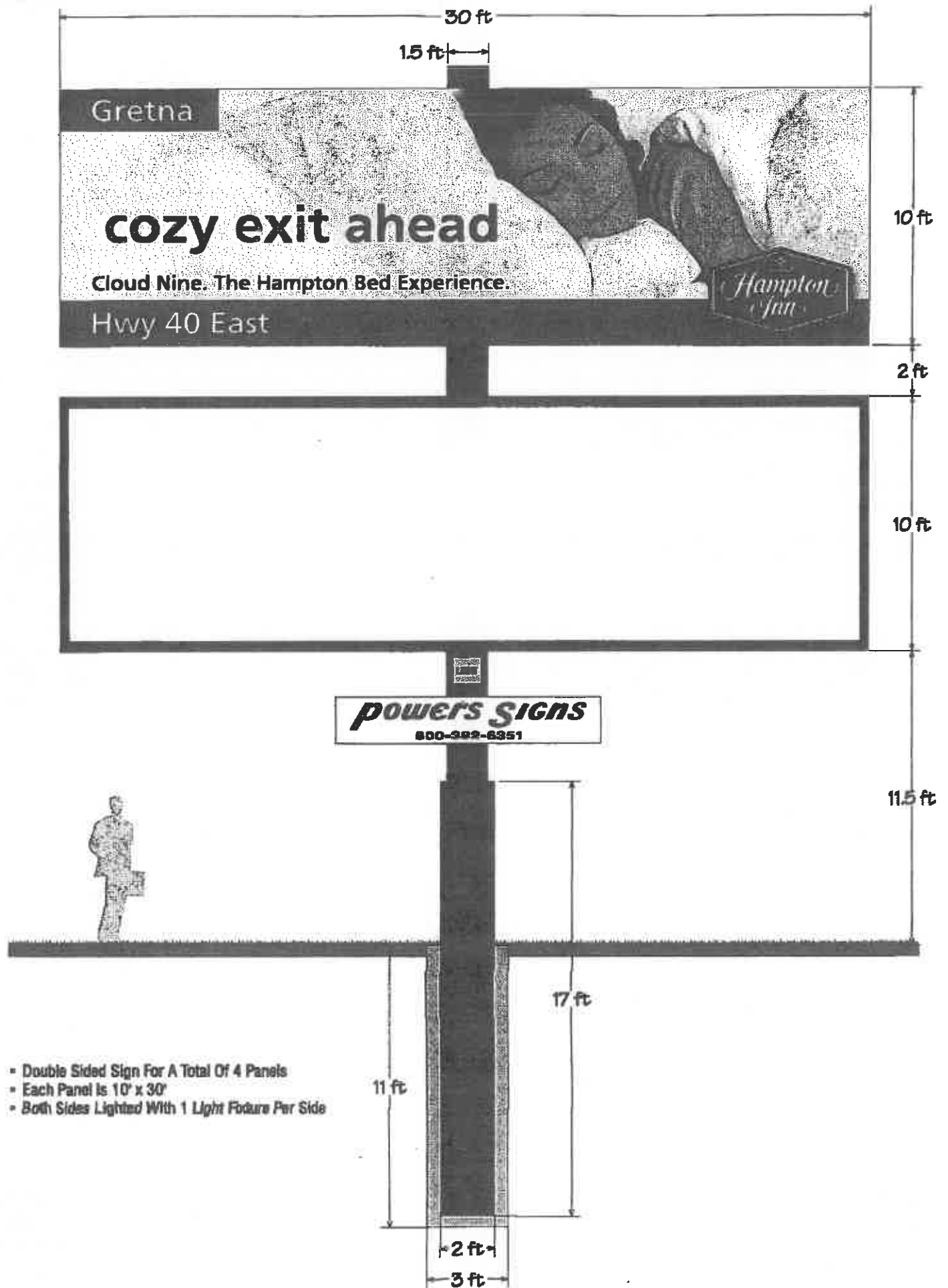
b = width of footer (ft)
d = height of footer (ft)

$$P_{allow} = \frac{2.5 * 3 * 11^2}{2.37 * 11 + 2.64 * 28.8}$$

$$= 8.87 \text{ (kips)} > 8.38 \text{ (kips)} \text{ is O.K.}$$

Robert W. Wall, PE 46021
Architectural Services And Engineering, Inc.
EBO 7882
24710 State Rd 54 Lutz, FL 33559
Phone: 813-948-2812





- Double Sided Sign For A Total Of 4 Panels
- Each Panel Is 10' x 30'
- Both Sides Lighted With 1 Light Fixture Per Side